

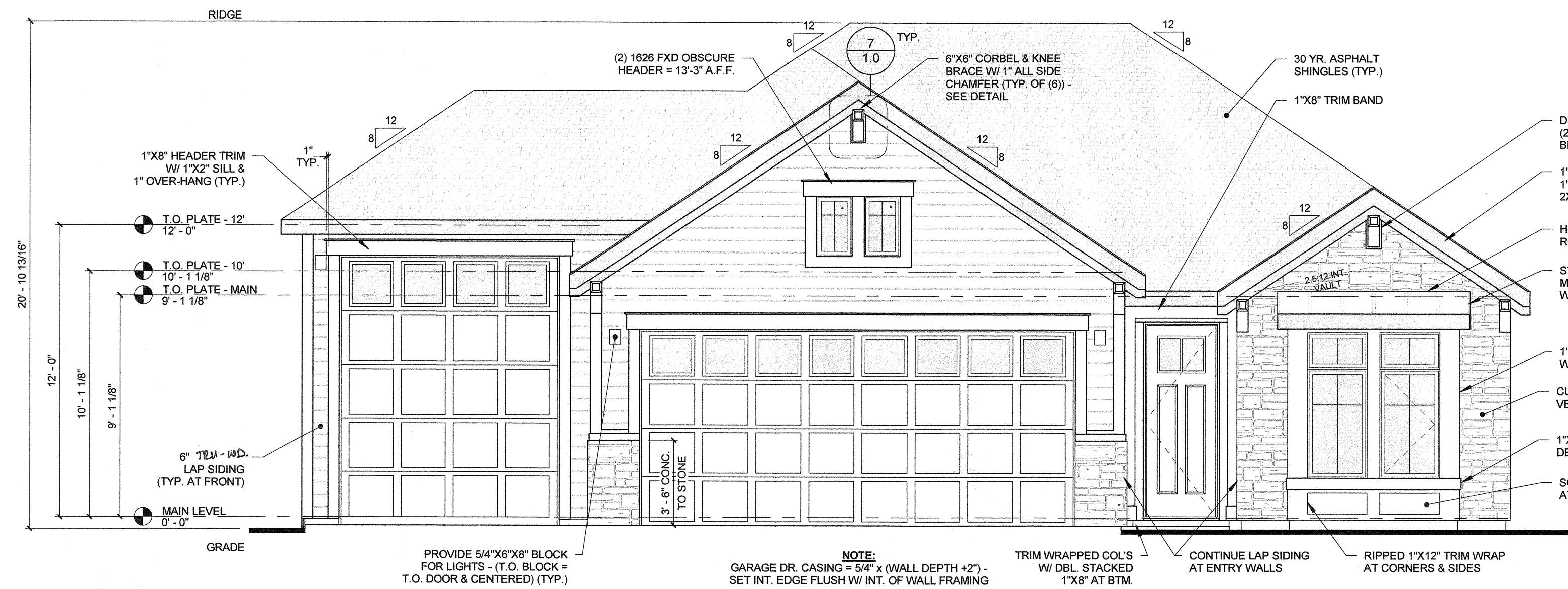
DESIGN CRITERIA

CODES:
2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL FIRE CODE (IFC)
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2018 INTERNATIONAL FUEL & GAS CODE (IFGC)
2017 IDAHO STATE PLUMBING CODE (ISPC)
2017 NATIONAL ELECTRICAL CODE (NEC)
(ALL W/ LOCAL AMENDMENTS FOR RESIDENTIAL PORTION)

FROST DEPTH: 24 INCHES
SEISMIC ZONE: C
CLIMATE ZONE: 5
BASIC WIND SPEED: 115 MPH
SOIL BEARING CAPACITY: 1500 PSF
ROOF LOADS: 25 PSF LIVE (SNOW)
40 PSF DEAD
FLOOR LOADS: 40 PSF LIVE
20 PSF DEAD

DRAWING INDEX

1.0	ELEVATIONS / SITE
2.0	FLOOR PLAN / TYP. WALL
3.0	FOUNDATION PLAN
4.0	PLUMBING LAYOUT
5.0	ROOF FRAMING PLAN
6.0	LATERAL BRACING PLAN
7.0	ELECTRICAL PLAN & SECTION
8.0	SHELVING DETAILS



FRONT ELEVATION

1/4" = 1'-0"

MASONRY TAKEOFF (ESTIMATE)	
MASONRY - STONE (COBBLEFIELD)	148 SF

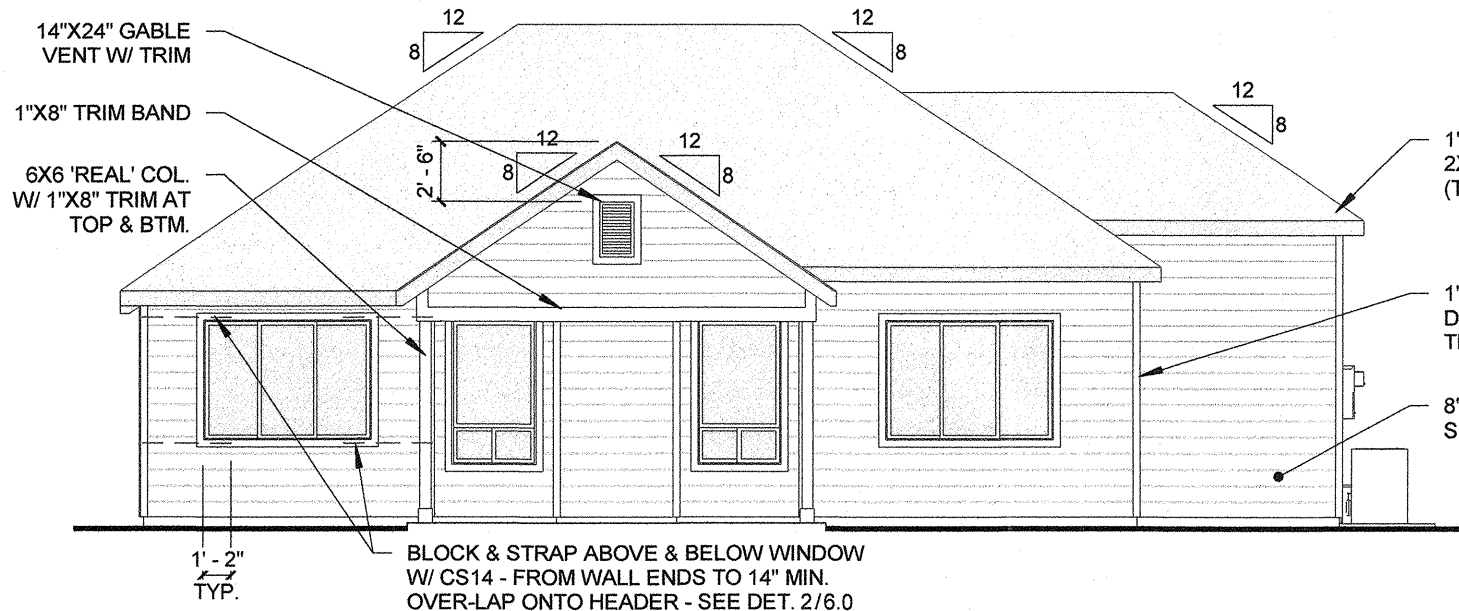
SIDING TAKEOFF (ESTIMATE)	
EXTERIOR - 6" SIDING / CLAPBOARD	500 SF
EXTERIOR - 8" SIDING / CLAPBOARD	1904 SF
EXTERIOR - SOFFIT BOARD SIDING	79 SF

GENERAL NOTES

- ALL SETBACKS AND EASEMENTS ARE TO BE LOCATED AND VERIFIED PRIOR TO CONSTRUCTION.
- FINISH GRADE SHALL SLOPE AWAY FROM THE FND. 5% FOR THE FIRST 10-FT. AND 2% THEREAFTER.

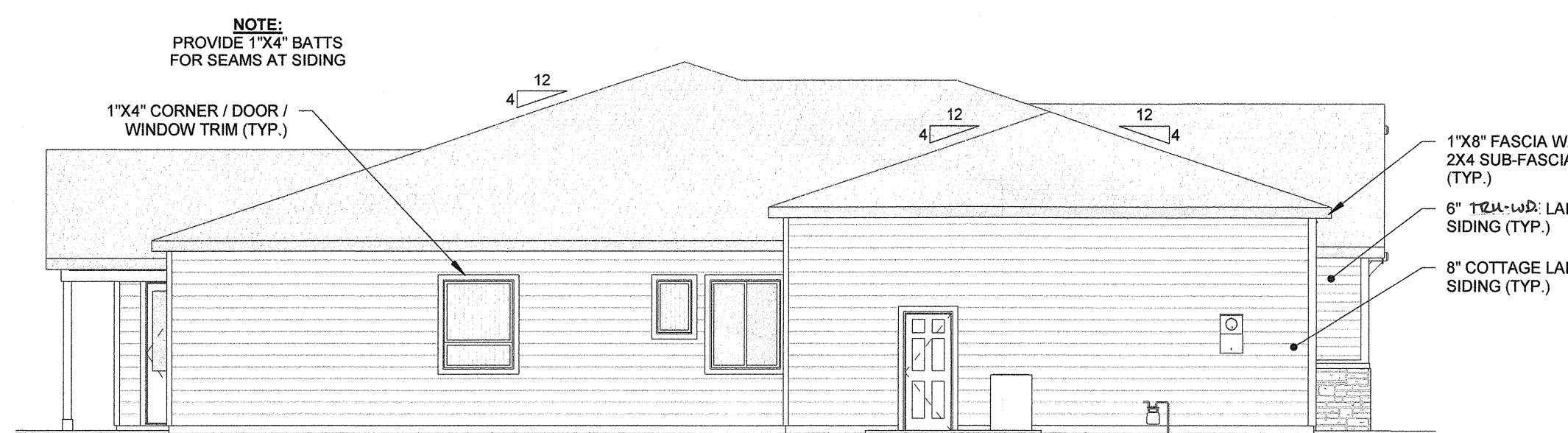
CURVE DATA TABLE

MARK	LENGTH	RADIUS	DELTA	BEARING	CHORD
C1	31.42'	20.00'	90° 00' 00"	S 28° 53' 00" E	28.28'
C2	32.93'	117.50'	16° 03' 30"	N 08° 05' 15" E	32.82'



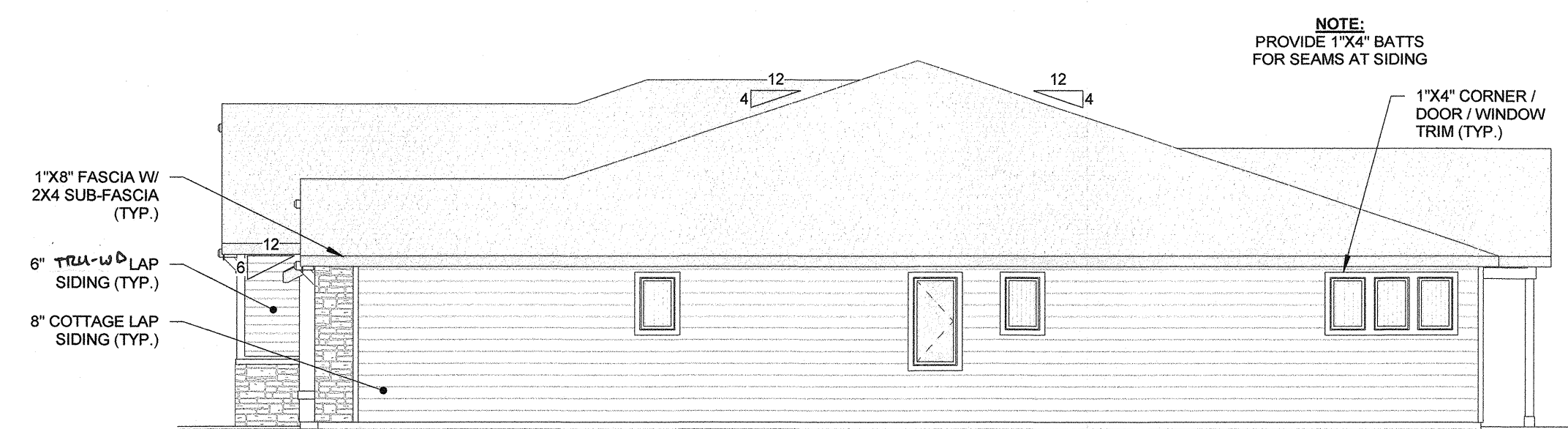
REAR ELEVATION

1/8" = 1'-0"



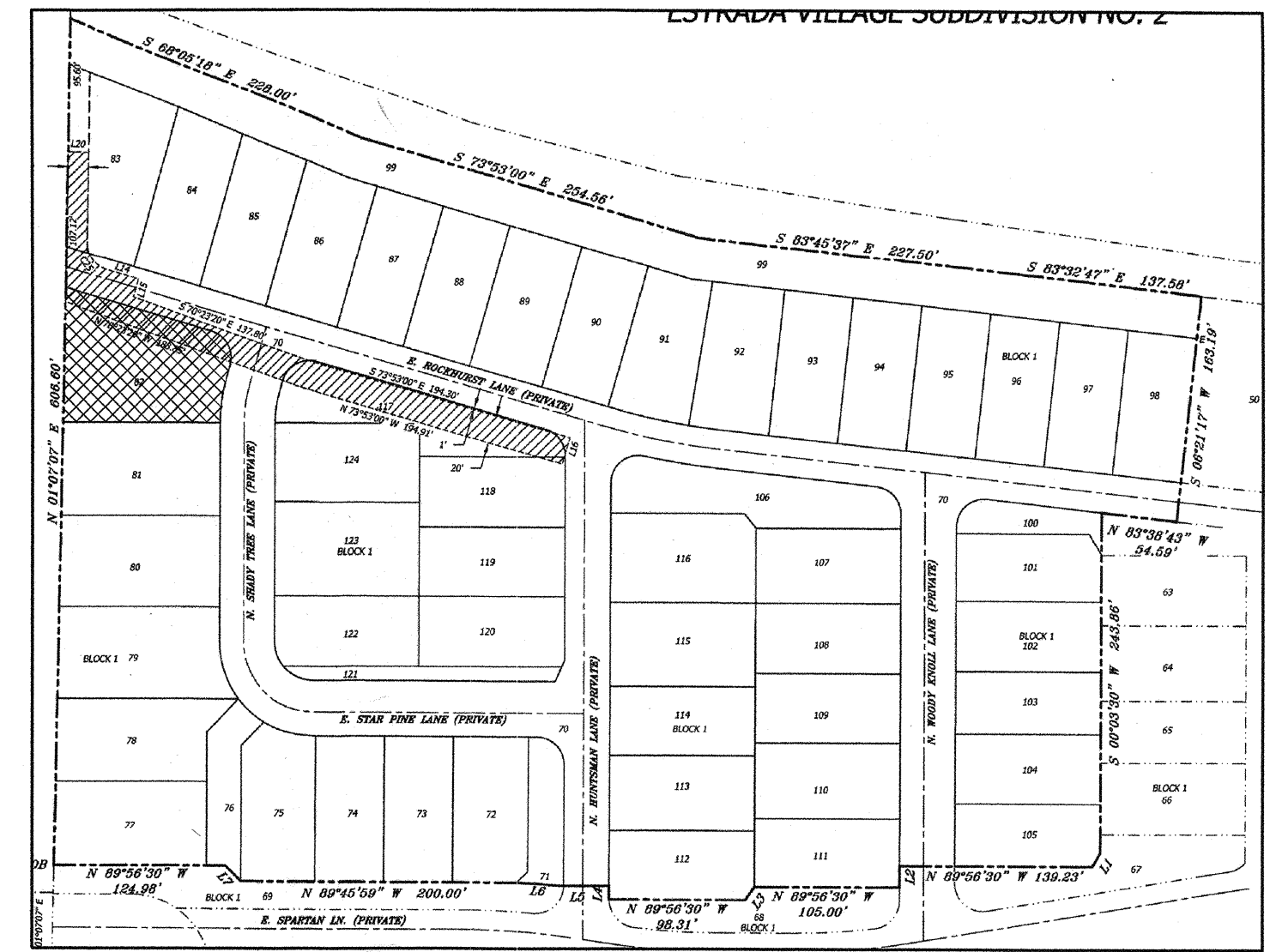
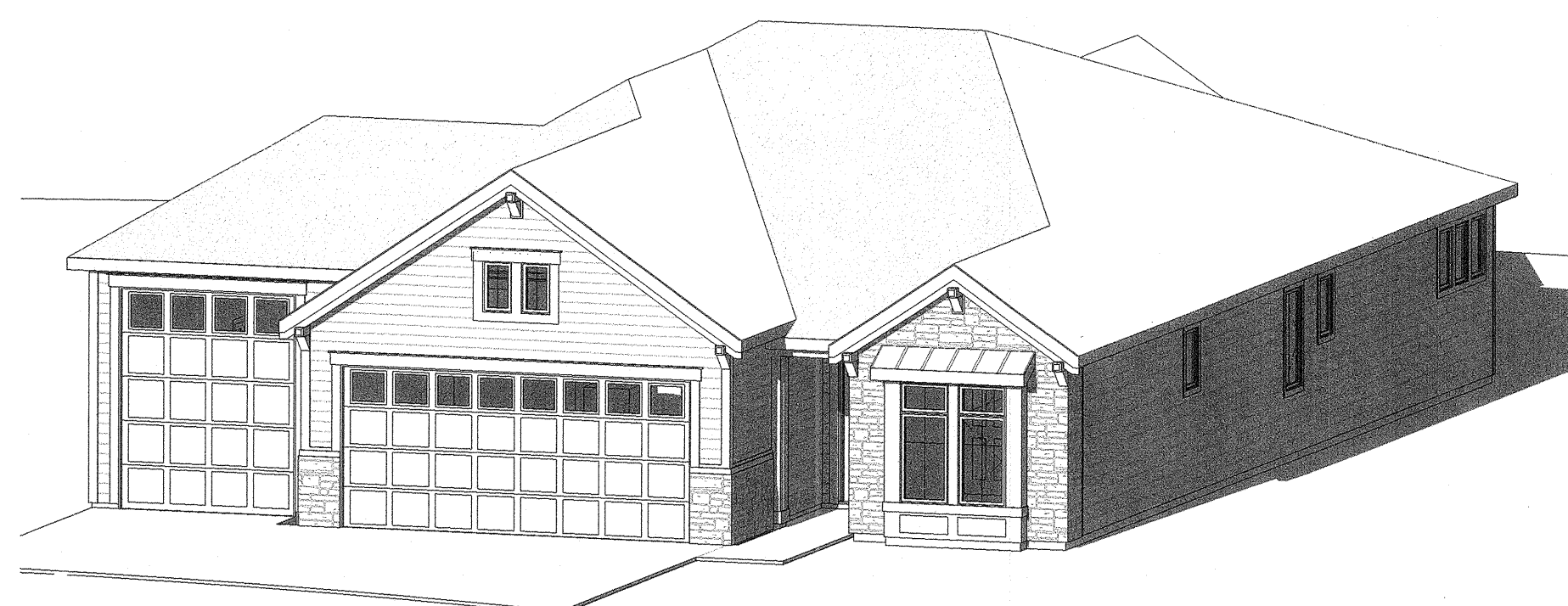
LEFT ELEVATION

1/8" = 1'-0"



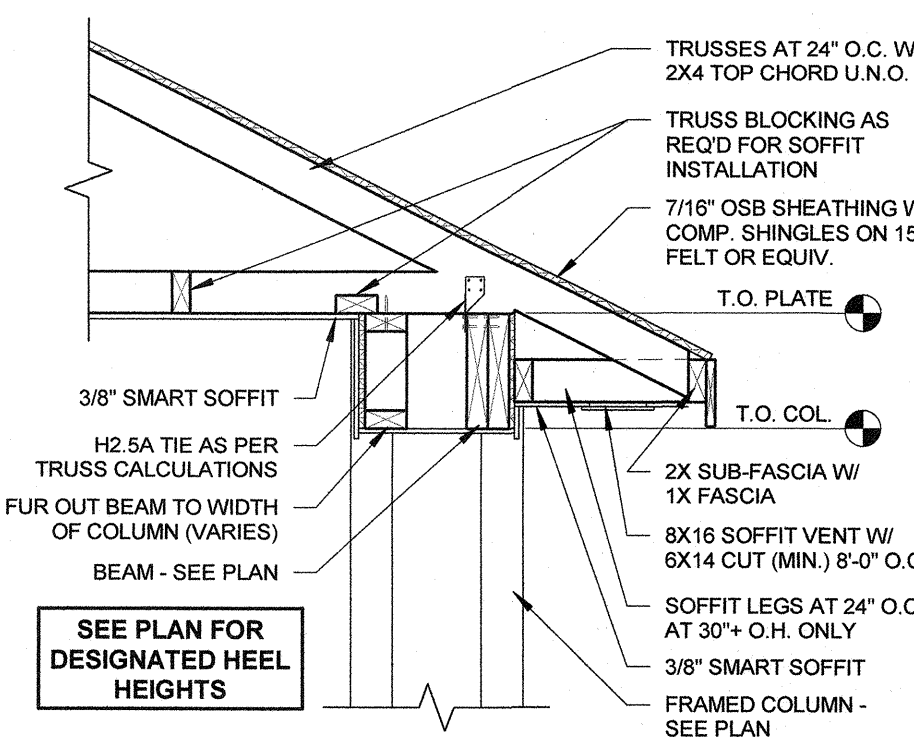
RIGHT ELEVATION

1/8" = 1'-0"



VICINITY MAP

5



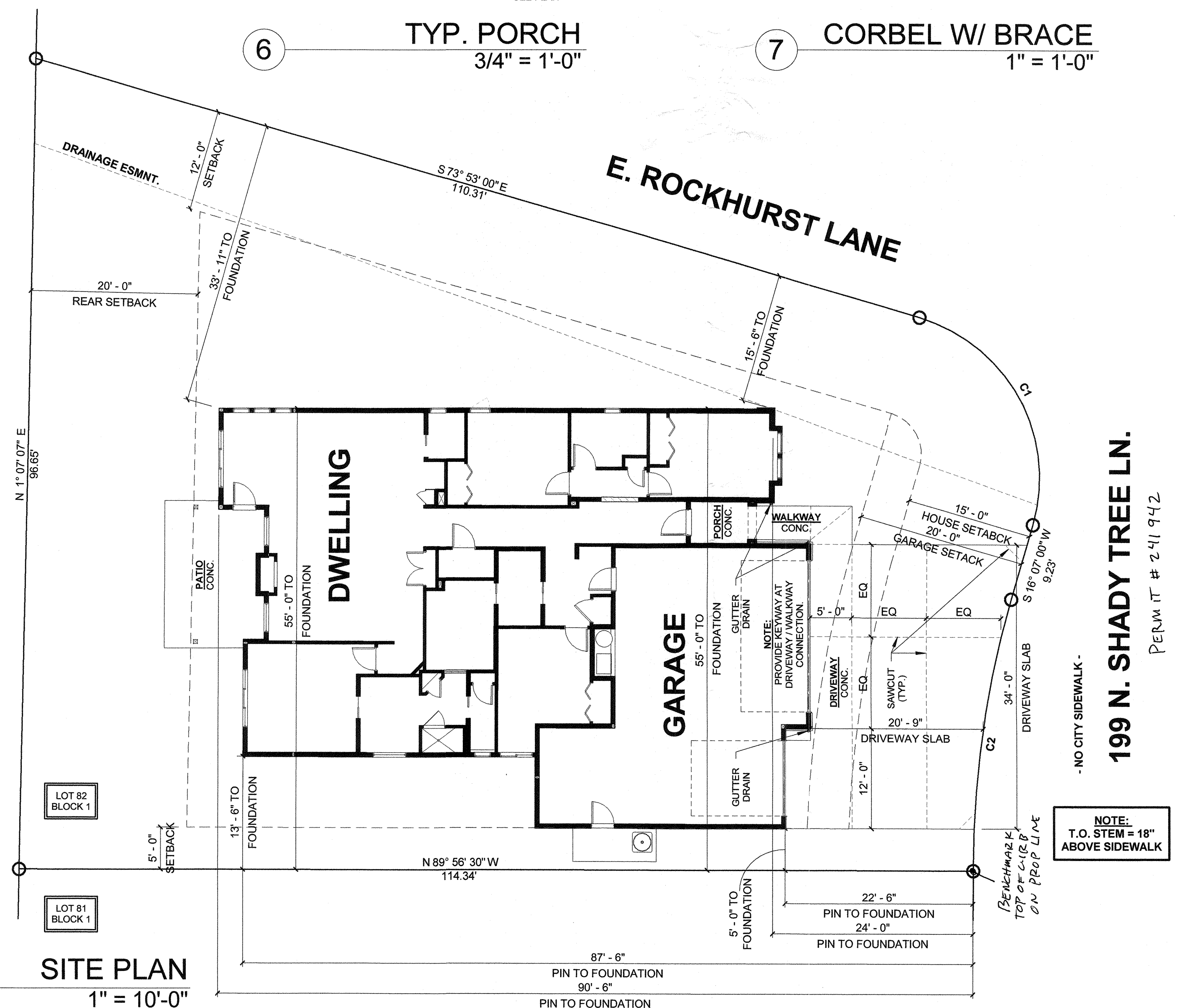
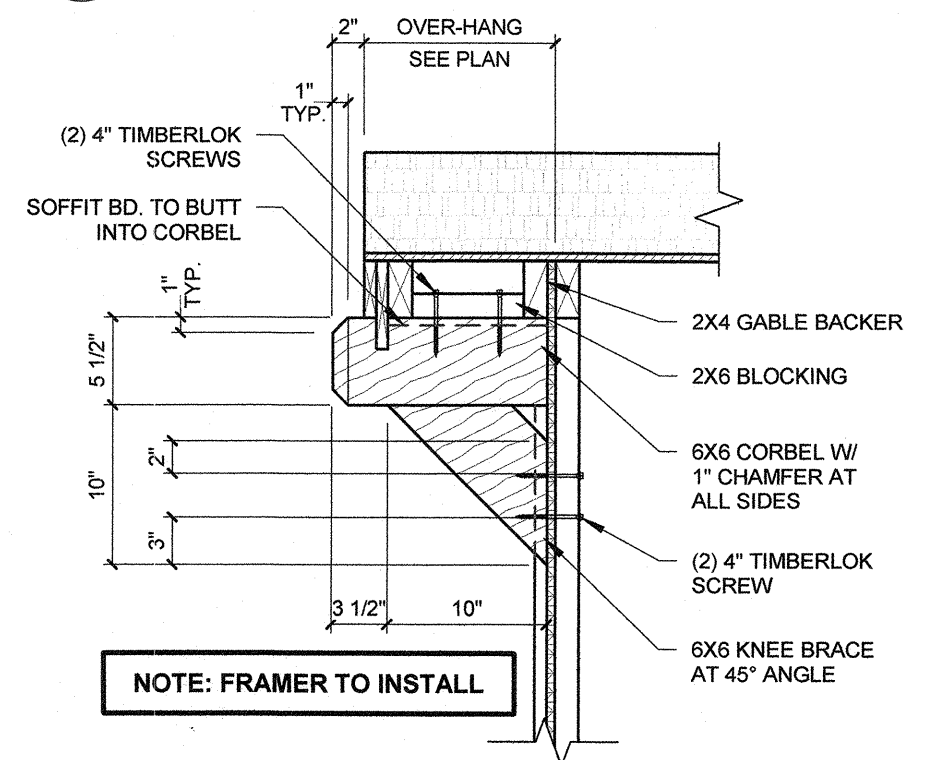
TYP. PORCH

3/4" = 1'-0"

7

CORBEL W/ BRACE

1" = 1'-0"



SITE PLAN

1" = 10'-0"

FOX FIRE B

MAIN LEVEL 2068 SF
2068 SF

COV. PATIO 131 SF
COV. PORCH 40 SF
GARAGE 885 SF

PROJECT INFO:

LOT: 82
BLOCK: 1
ESTRADA VILLAGE #2

DRAWN BY: RA
PLOT DATE: 4/18/2024 4:31:09 PM
MSTR DATE: 04.15.24

Interfrance
Truss

BLACKROCK
HOMES

199 N. SHADY TREE LN.
PERM IT # 241 942

SHEET TITLE:

ELEVATIONS / SITE

SHEET NUMBER:

1.0

FLOOR PLAN GENERAL NOTES:

- ALL EXTERIOR / BEARING WALLS 2X DF No.2 STUDS AT 16" O.C. U.N.O.
ALL INTERIOR WALLS 2X DF No.2 STUDS AT 16" O.C. U.N.O.
- HEADER HEIGHTS:
MAIN LEVEL - HEADER TIGHT TO PLATE (T.O. R.O. 8' 1-3/8" A.F.F.) U.N.O.
- ALL WINDOWS / DOORS NOT DIMENSIONED SHALL BE CENTERED WITHIN THE ROOM/SPACE.
- USE 5/8" TYPE X DRYWALL ON ALL GARAGE INTERIOR WALLS AND CEILINGS.
- PROVIDE CORROSION RESISTANT HEAD, JAMB AND SILL FLASHING PER 2018 CODE R703.4.
- SAFETY GLAZING REQUIRED PER IRC R308.4:
A. ALL GLASS WITHIN 18" OF FINISHED FLOOR.
B. GREATER THAN 9 SQ. FT. IN AREA.
C. ALL GLASS WITHIN 24" ARC OF DOORS.
- FRAMER TO VERIFY CABINET LAYOUT W/ CONTRACTOR.
- USE LVL STUDS AT **ALL 2X6 END WALL** CONDITIONS.

DENOTES FUR DOWN CEILING LOCATIONS

T.O. PLATE = 9' - 1 1/8" A.F.F.

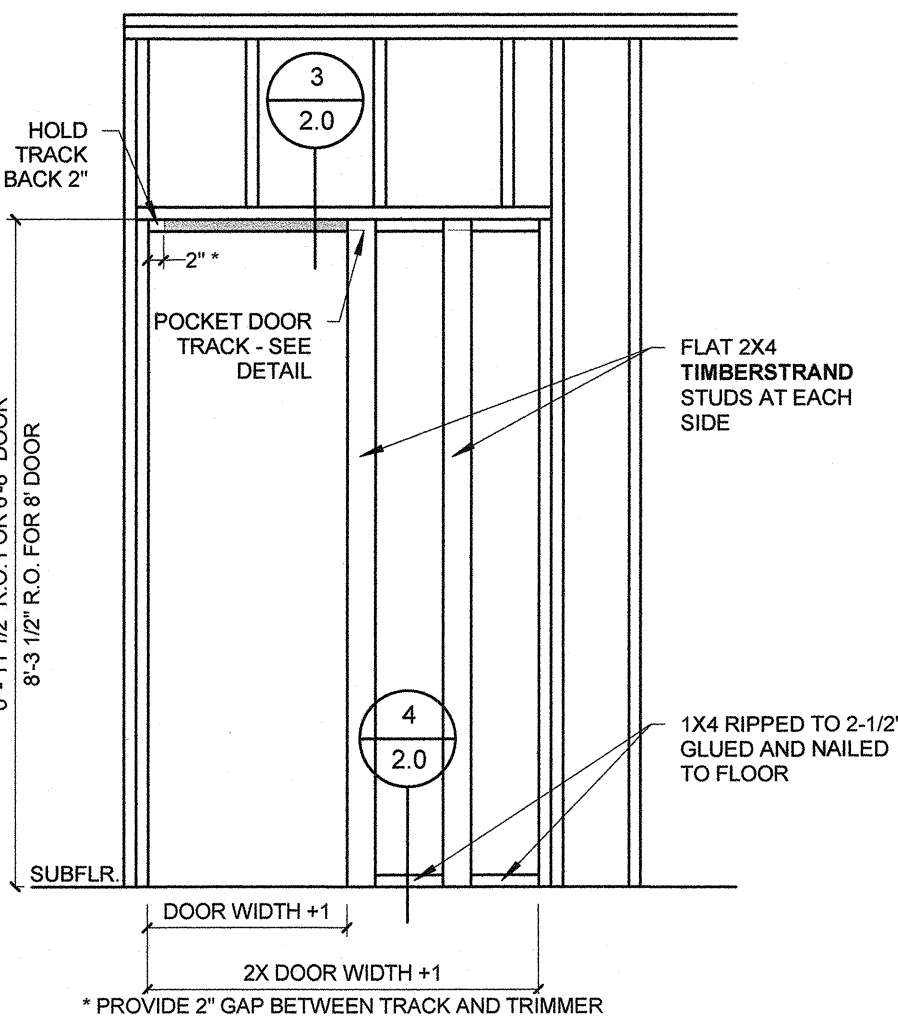
T.O. PLATE = 8' - 6" A.F.F.

T.O. PLATE = 12' - 0" A.F.F. (RV BAY GARAGE)

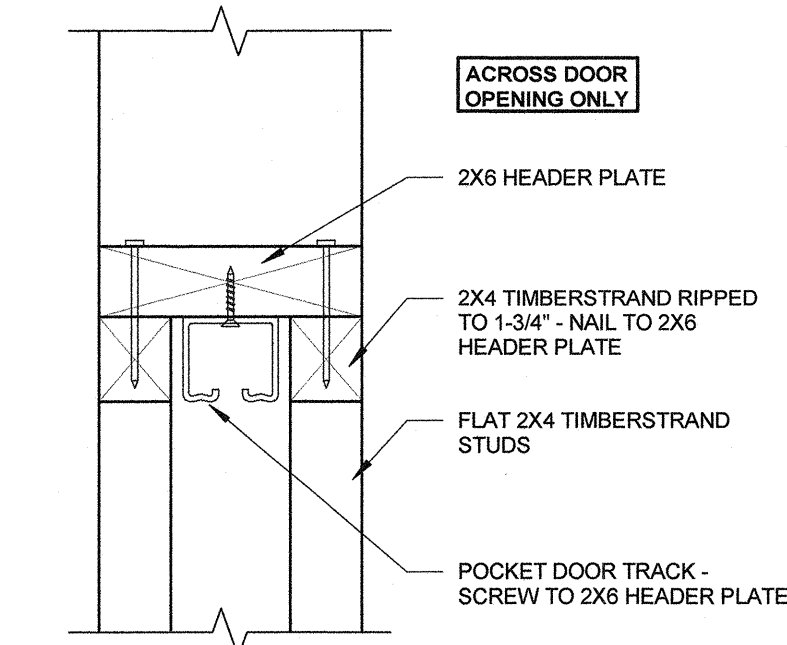
T.O. PLATE = SEE PLAN FOR HEIGHTS - OR - FRAME TO UNDERSIDE OF TRUSS BOTTOM CHORD.

2X WALL W/ INSULATED 2X6 WALL ON TOP & FRAMED TO UNDERSIDE OF TRUSSES - SEE "6-SIDED FRAMING" DETAIL.

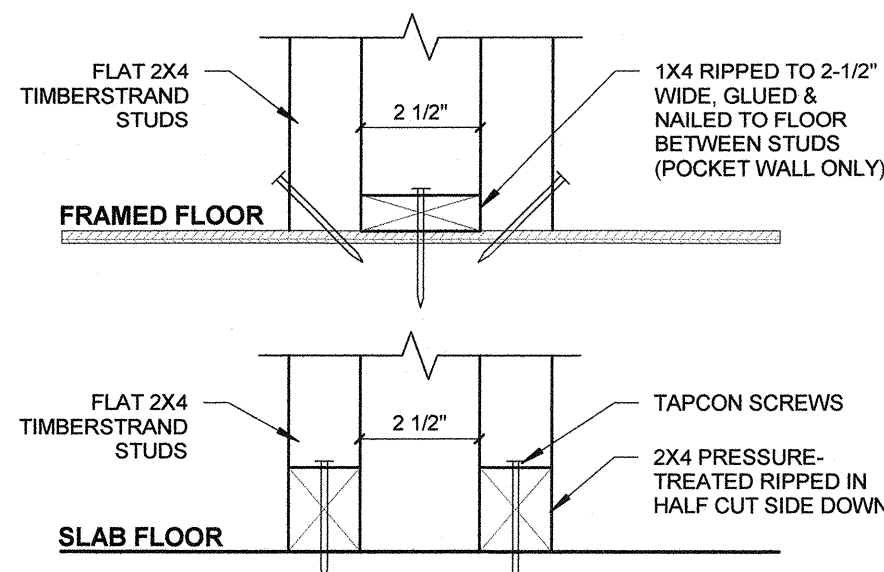
X SHELVING DESIGNATION - SEE "SHELVING DETAIL" SHEET.



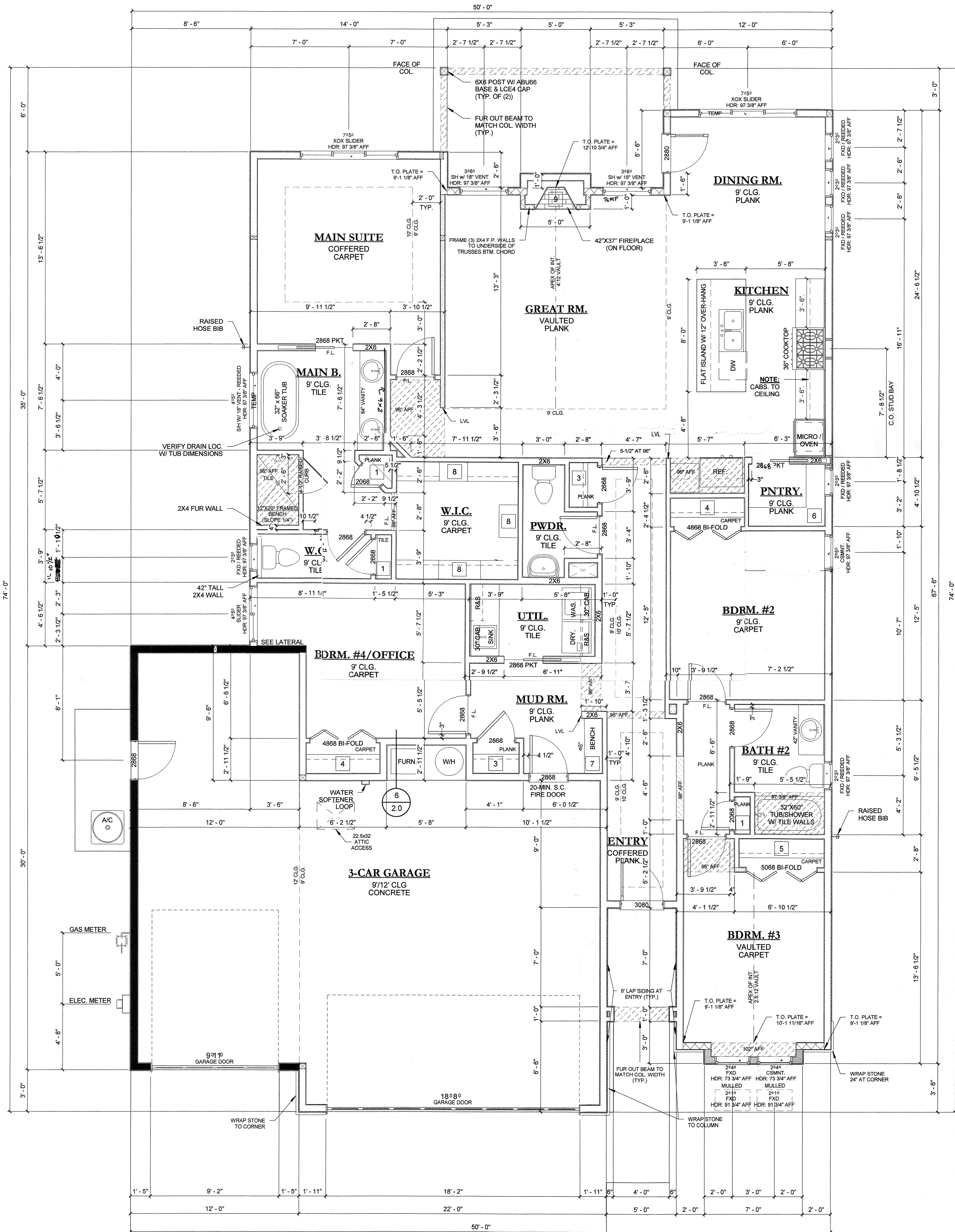
PKT. DR. SECTION
1/2" = 1'-0"



PKT. DOOR TRACK
3" = 1'-0"



PKT. DOOR FLOOR
3" = 1'-0"



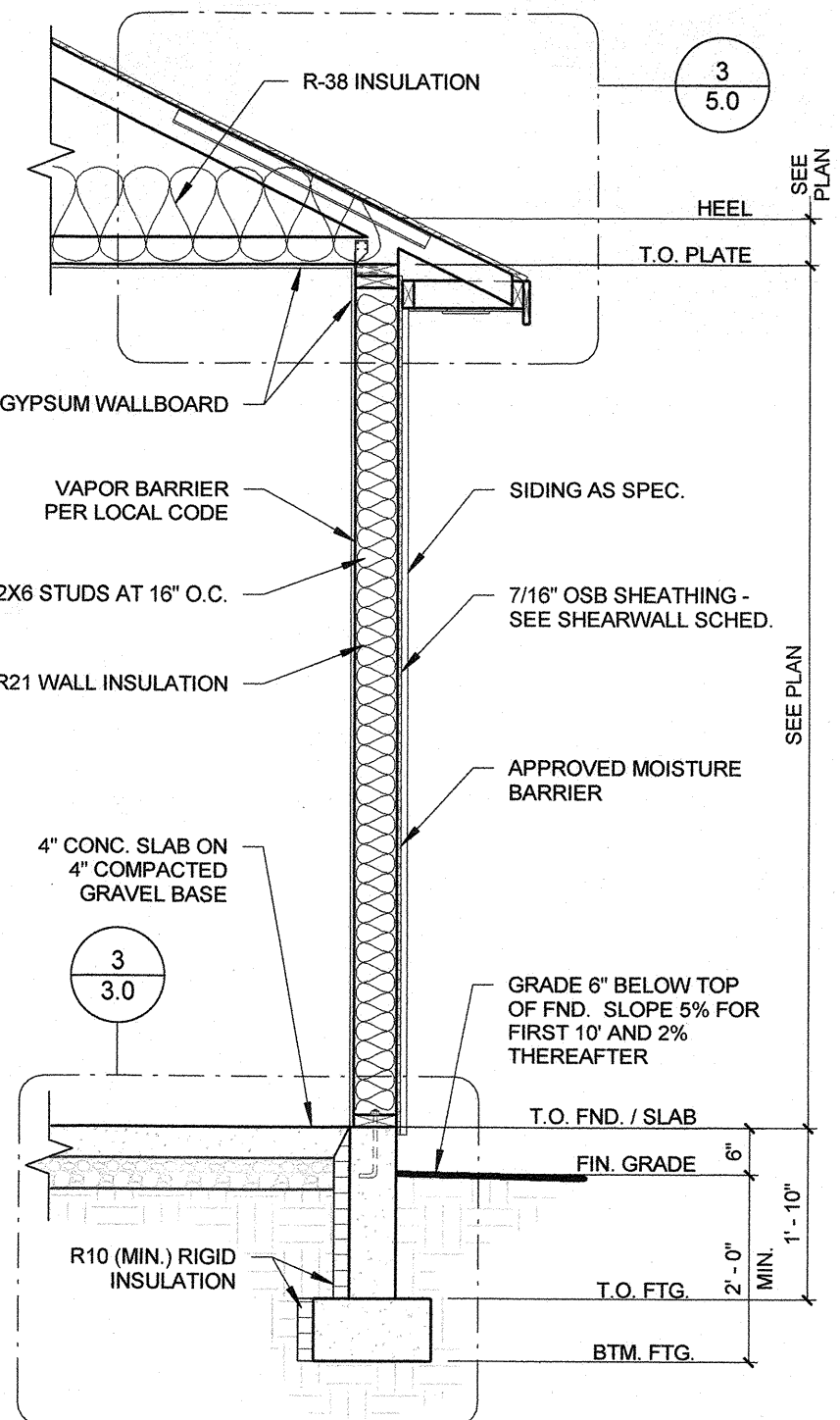
WINDOW SCHEDULE		
COUNT	TYPE	SIZE
1	CASEMENT	2646
1	CASEMENT	2650
2	FIXED	1626
2	FIXED	2616
1	FIXED	2646
6	FIXED - REEDED	2030
2	SINGLE HUNG W 18-IN SLIDER VENT	3660
1	SINGLE HUNG W 18-IN VENT - REEDED	4050
1	SLIDER	4050
2	XOX - SIDE SLIDERS	7050
19		

LUMBER SUPPLIER: 2-DAY NOTICE FOR 1ST DROP	BMC / CLAY PEUGH PHONE: 208-941-4402
TRUSS SUPPLIER: 2-DAY NOTICE FOR 1ST DROP	INTEFRAME / lob PHONE: 208-944-7678
WINDOW SUPPLIER: 2-DAY NOTICE FOR DROP	ATKINSONS / DAKOTA PHONE: 208-954-6480
BLACKROCK SUPERINTENDENT:	SAM PHONE: 208-995-1753

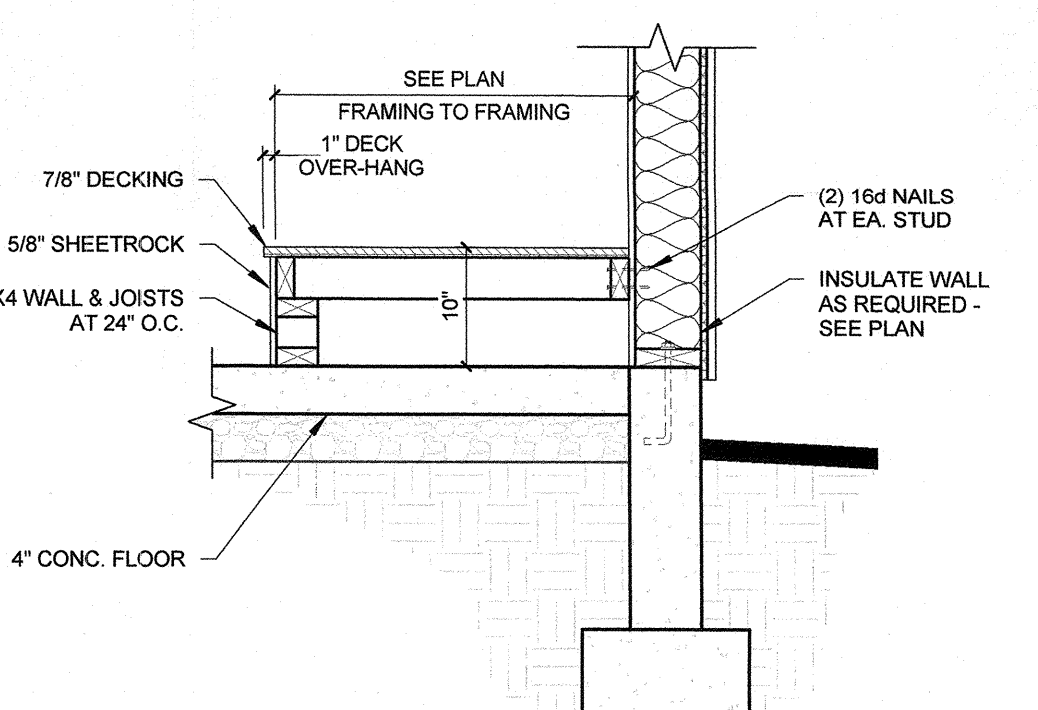
FLOORING TAKEOFF (ESTIMATE)	
CARPET	723 SF
PLANK	867 SF
TILE	233 SF

DOOR / WIND. FRM'G SCHED.			
	TYPE	R.O. WIDTH	R.O. HEIGHT
EXTERIOR	WINDOWS	CALL-OUT	14" UNDER CALL-OUT
	SLIDING GLASS DR.	CALL-OUT	14" UNDER CALL-OUT
	FRONT DOOR	2" OVER CALL-OUT	82-14"
	HOUSE / PATIO SWING DR.	2" OVER CALL-OUT	82-14"
	GARAGE / HOUSE	2" OVER CALL-OUT	83"
INTERIOR	STANDARD INTERIOR	2" OVER CALL-OUT	83"
	BI-FOLD	1-1/2" OVER CALL-OUT	82"
	BI-PASS	1" OVER CALL-OUT	83"
	BALL CATCH	2" OVER CALL-OUT	83"
	FRENCH	3" OVER CALL-OUT	83"
	POCKET	SEE "POCKET DOOR FRAMING" DETAIL	

NOTE: ALL DOOR R.O.'S TO BE 3" FROM ADJ. WALL, U.N.O.



TYP. WALL
1/2" = 1'-0"



MECH. PLATFORM
3/4" = 1'-0"

FOX FIRE B

MAIN LEVEL 2068 SF
2068 SF

COV. PATIO 131 SF
COV. PORCH 40 SF
GARAGE 885 SF

PROJECT INFO:

LOT: 82
BLOCK: 1
ESTRADA VILLAGE #2

DRAWN BY: RA
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MSTR DATE: 04.15.24

BLACKROCK HOMES

SHEET TITLE:
FLOOR PLAN / TYP. WALL

SHEET NUMBER:

2.0

FOUNDATION NOTES:

1. SOIL BEARING PRESSURE ASSUMED TO BE 1500 PSF - SANDY LOAM AND CLAY. OTHER CONDITIONS MAY REQUIRE SPECIAL PROVISIONS IN FOUNDATION DESIGN AND CONSTRUCTION.

PROVIDE (2) #4 HORIZONTAL REBAR AT TOP & BOTTOM IN STEM WALL & (2) #4 HORIZONTAL REBAR IN FOOTING. ALSO PROVIDE VERTICAL #4 REBAR AT 16" ON CENTER - ALTERNATE HOOKS IN FOOTING. EXTEND REINFORCING 24" MINIMUM AROUND CORNERS BEFORE TERMINATING.

FLOOR FRAMING NOTES:

2. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED WOOD PER CODE.
3. USE (1) 2"x2"x3/16" PLATE WASHER AT EVERY ANCHOR BOLT LOCATION. (NOTE: DO NOT COUNTER SINK ANY SIZE WASHERS INTO SOLE PLATE.)

PLAN NOTES:

4. PROVIDE 1/2" DIAMETER X 10" ANCHOR BOLTS AT 72" ON CENTER AT ALL EXTERIOR PRESSURE TREATED PLATE LOCATIONS. INSTALL (2) BOLTS PER PLATE AT 12" MAXIMUM AWAY FROM END OF PLATES OR END OF STEM WALL. NOTE: FROM EXTERIOR EDGE OF STEM WALL - SET IN 2" AT 2X4 WALLS & 2-3/4" AT 2X6 WALLS.
5. WALL FRAMING OUTLINE.
6. 9" FOOTING BLOCK-OUT FOR CONDUIT.
7. GROUND ROD.
8. 2" RIGID INSULATION AT ALL WALL SECTIONS CONTAINED BY HEATED LIVING SPACE (TYP.)
9. 30" DIAMETER SONO-TUBE, BTM. OF SONO-TUBE 24" MIN. BELOW GRADE. TOP OF SONO-TUBE 10" BELOW TOP OF FOUNDATION. THICKEN SLAB OVER SONO-TUBE.
10. SEWER CLEAN-OUT - SET 6" BELOW TOP OF STEM WALL.
11. HOLD SILL PLATE FLUSH TO THIS SIDE OF STEM WALL.
12. GUTTER DRAIN - SEE PLAN.
13. PROVIDE STEM WALL BLOCK-OUT FOR MAN DOOR.

ANCHOR BOLT SCHEDULE

MARK	COMMENTS
B1	5/8" DIAMETER X 10" ANCHOR BOLT AT 2-1/2" ABOVE TOP OF STEM WALL.
B2	5/8" DIAMETER X 18" THREADED ROD AT 8" ABOVE TOP OF STEM WALL.
A1	1/2" DIAMETER ANCHOR BOLTS AT 12" O.C. - TOP OF BOLT 2-1/2" ABOVE TOP OF STEM WALL.
A2	1/2" DIAMETER ANCHOR BOLTS AT 24" O.C. - TOP OF BOLT 2-1/2" ABOVE TOP OF STEM WALL.
A4	1/2" DIAMETER ANCHOR BOLTS AT 48" O.C. - TOP OF BOLT 2-1/2" ABOVE TOP OF STEM WALL.
A5	1/2" DIAMETER ANCHOR BOLTS AT 60" O.C. - TOP OF BOLT 2-1/2" ABOVE TOP OF STEM WALL.

NOTE: SEE FND./FRAMING SHEETS FOR DIMENSIONS.

HOLD-DOWN/STRAP SCHEDULE

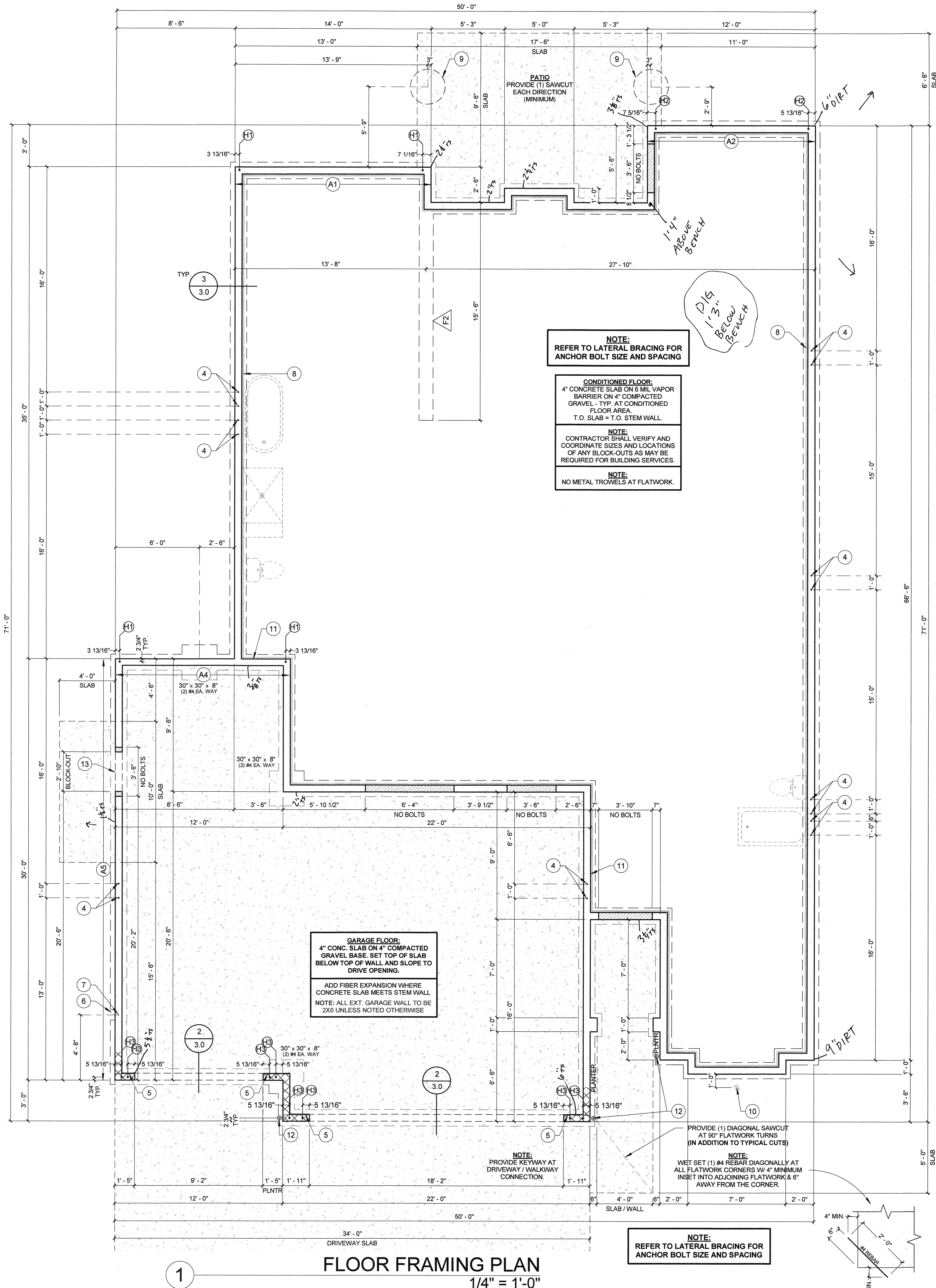
MARK	COMMENTS
S1	STHD-14 HOLD-DOWN - INSTALLED AT INSIDE OF FRAMED WALL - SEE DETAIL - /--- /PLAN.
S2	STHD-14 HOLD-DOWN - INSTALLED AT EXTERIOR OF STEM WALL - SEE DETAIL - /--- /PLAN.
H1	DTT22 HOLD-DOWN W/ 1/2"ØX10" - INSTALLED W/ INTO (2) STUDS W/ (8) 1/4"X1-1/2" SDS SCREWS.
H2	HDU2 HOLD-DOWN W/ 1/2"ØX10" - INSTALLED W/ INTO (2) STUDS W/ (8) 1/4"X1-1/2" SDS SCREWS.
H3	HDU5 HOLD-DOWN W/ SDS2.5 SCREWS. INSTALL INTO (2) STUDS W/ (14) 1/4"X2-1/2" SDS SCREWS.

NOTE: SEE FND./FRAMING SHEETS FOR DIMENSIONS.

FOOTING SCHEDULE

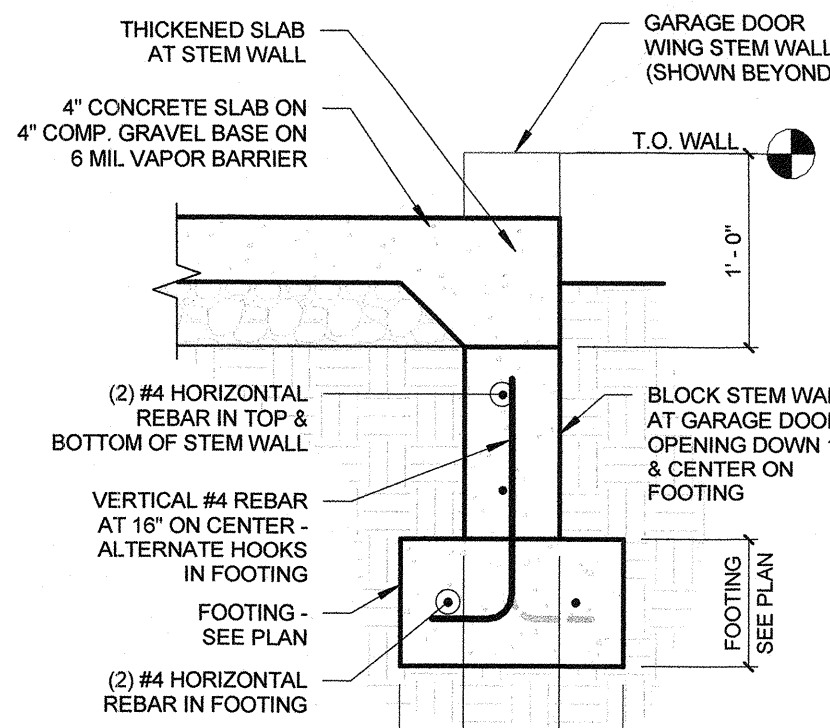
MARK	DEPTH	WIDTH	COMMENTS
F1	8"	1' - 2"	CONTINUOUS FOOTING
F2	8"	1' - 0"	THICKENED SLAB AT INT. BEARING WALL

NOTE: ALL FOOTINGS *F1* UNLESS NOTED OTHERWISE



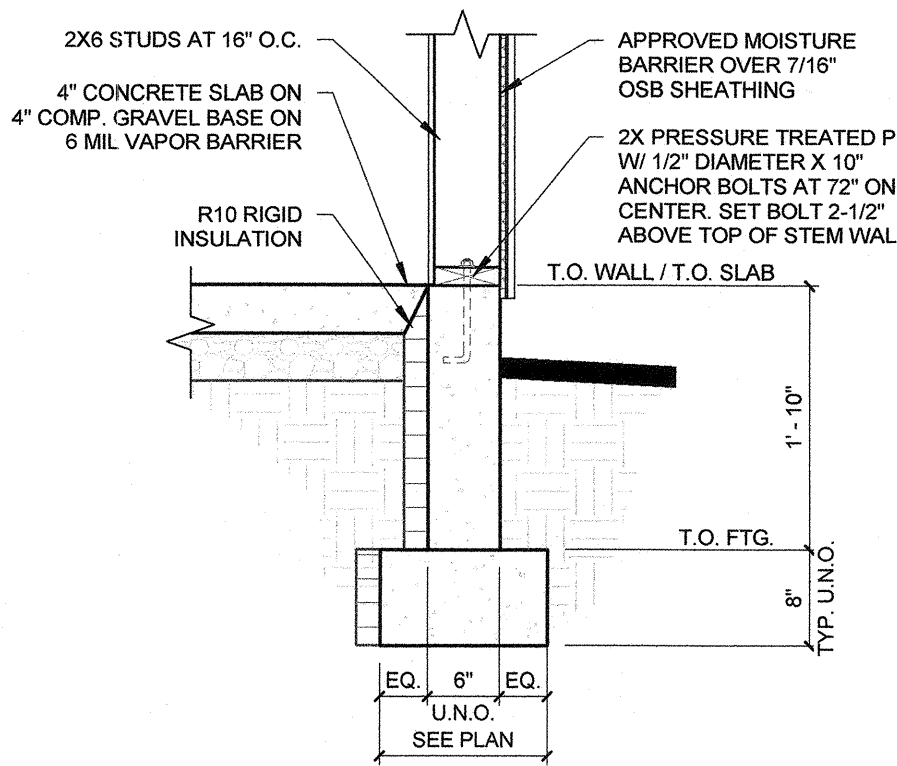
FLOOR FRAMING PLAN

1/4" = 1'-0"



GARAGE DOOR WALL

1" = 1'-0"



FND. WALL - SLAB

3/4" = 1'-0"

FOXFIRE B

MAIN LEVEL 2068 SF
2068 SF

COV. PATIO 131 SF
COV. PORCH 40 SF
GARAGE 885 SF

PROJECT INFO:

LOT: 82
BLOCK: 1
ESTRADA VILLAGE #2

DRAWN BY: RA
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MSTR DATE: 04.15.24

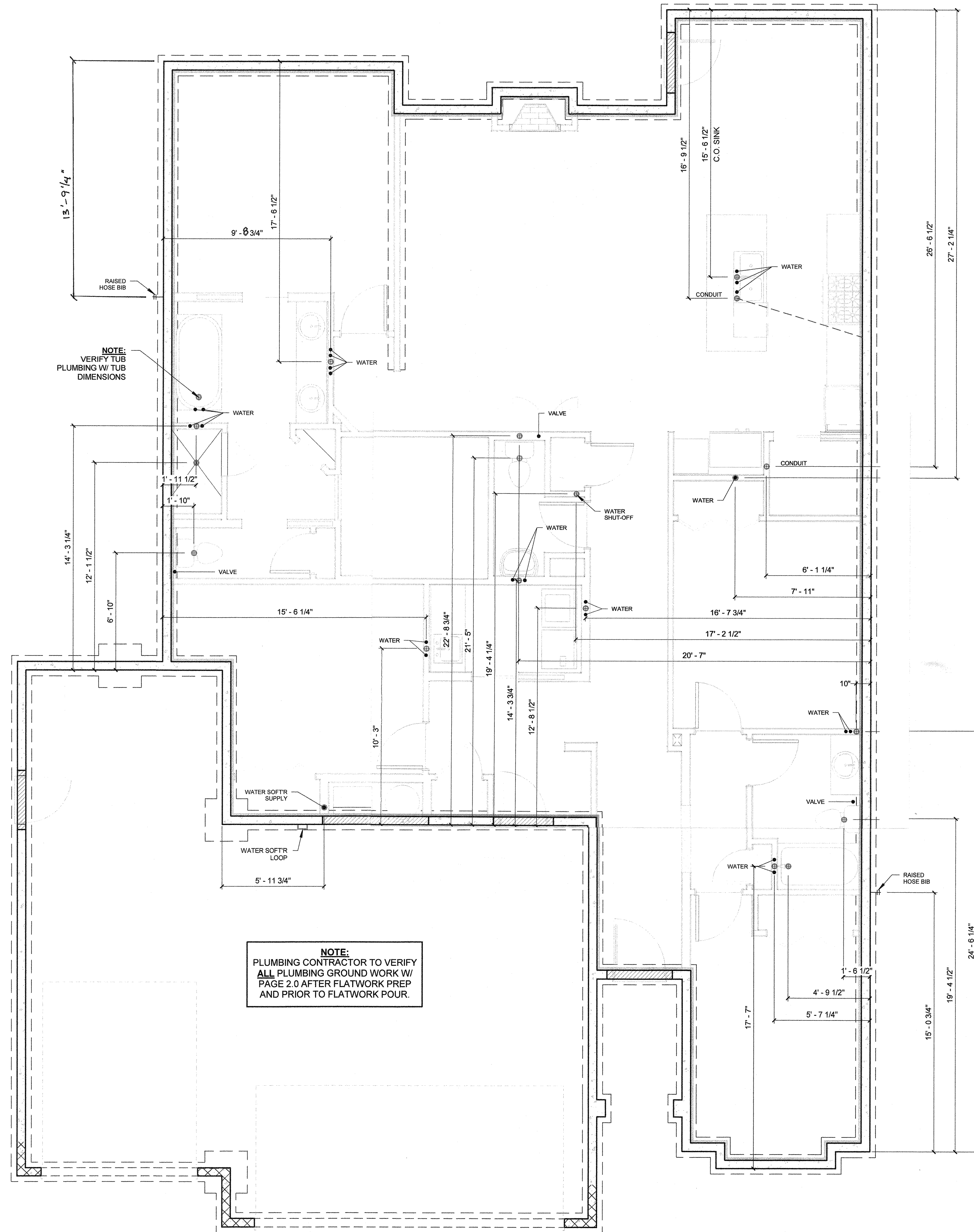
BLACKROCK HOMES

SHEET TITLE:

FOUNDATION PLAN

SHEET NUMBER:

3.0



1

PLUMBING LAY-OUT

FRAMING NOTES:

- SEE FLOOR PLAN FOR PLATE HEIGHTS.
- REFER TO LATERAL BRACING FOR SHEATHING REQ'S PRIOR TO FRAMING.
- PROVIDE (2) STUDS UNDER ALL BEARING POINTS U.N.O. PROVIDE SOLID BLOCKING BELOW ALL POINT LOADS TO FOUNDATION. SOLID BLOCK BETWEEN ALL FLOOR CAVITIES. MATCHING COLUMN SIZE ABOVE.
- UNLESS OTHERWISE NOTED, PROVIDE (1) KINGSTUD AND (1) TRIMMER AT ALL OPENINGS LESS THAN 6'-0" AND (2) KINGSTUDS AND (2) TRIMMERS AT ALL OPENINGS GREATER THAN 6'-0".
- TRUSS-TO-TRUSS CONNECTIONS PROVIDED BY TRUSS MFR. TRUSS MFR. SHALL VERIFY ALL DIMENSIONS OFF OF FND. PLAN AND FLOOR PLAN PRIOR TO TRUSS FABRICATION AND NOTIFY BLACKROCK HOMES OF ANY LAY-OUT CHANGES.
- CONTRACTOR SHALL INSTALL TRUSSES AS PER TRUSS MANUFACTURER'S SPECIFICATIONS, INCLUDING PROVIDING FASTENERS TO RESIST ANY UPLIFT.
- ROOF SHEATHING - 7/16" APA RATED OSB WITH:
A. 8D NAILS: AT 6" O.C. ALONG EDGES AND DIAPHRAGM BOUNDARIES AND 12" O.C. IN THE FIELD.
B. 16 GA STAPLES: AT 3" O.C. ALONG EDGES AND DIAPHRAGM BOUNDARIES AND 6" O.C. IN THE FIELD.
- EXTERIOR WALLS TO BE 2X DF No. 2 STUDS AT 16" O.C.
INTERIOR (NON-BEARING) WALLS TO BE 2X DF No. 2 STUDS AT 16" O.C.
- PROVIDE ATTIC VENTILATIONS AS REQUIRED BY CODE.
- FRAMER TO GAP SHEATHING 1/8".
- USE LVL STUDS AT ALL 2X6 END WALL CONDITIONS.
- STRAP ALL EXTERIOR BEAMS W/ LSTA24 TO SUPPORTING COLUMNS U.N.O.
- STRAP ALL BEAMS THAT DISRUPT TOP PLATE CONTINUITY W/ LSTA24 U.N.O. (CENTER STRAP ON DOUBLE TOP PLATE.)

INTERIOR BEARING WALL

DENOTES ROOF OVER-BUILD

PLAN NOTES:

- (2) 2X6 TRIMMERS.
- (2) 2X6 TRIMMERS & (1) 2X6 KINGSTUD AT EA. SIDE.
- (2) 2X6 TRIMMERS & (2) 2X6 KINGSTUDS.
- 6X6 COLUMN W/ ABU66 POST BASE & LCE4 POST CAP.
- ALIGN FACE OF TRUSS W/ EDGE OF WALL.
- STEP UP BTM. CHORD OF TRUSS 12" & PROVIDE "6-SIDED FRAMING" - SEE DETAIL.
- LINE OF COFFERED CEILING BELOW.
- 2X6 NAILER W/ (2) 16d NAILS AT EA. STUD & PLANED W/ TOP & BOTTOM CHORD OF TRUSS.
- 2X8 LEDGER W/ (3) 16d NAILS AT EA. STUD - B.O. LEDGER = T.O. 9' PLATE.
- 2'-10 7/8" TALL GIRDER TRUSS - TRUSS HANGERS PER TRUSS CO.
- 6:12 MONO TRUSSES AT 24" O.C.
- 1X12 FASCIA W/ 1X8 SHADOW BD. & 2X10 SUB-FASCIA - TYP. AT FRONT GABLES.
- 6X6 CORBEL & KNEE BRACE (TYP.) - SEE DETAIL.
- GUTTER DOWN SPOUT LOCATION.
- BLOCK & STRAP ABOVE & BELOW WINDOW W/ CS14 - FROM WALL ENDS TO 14" MIN. OVER-LAP ONTO HEADER - SEE 'REAR ELEVATION' & DETAIL 2/6.0.

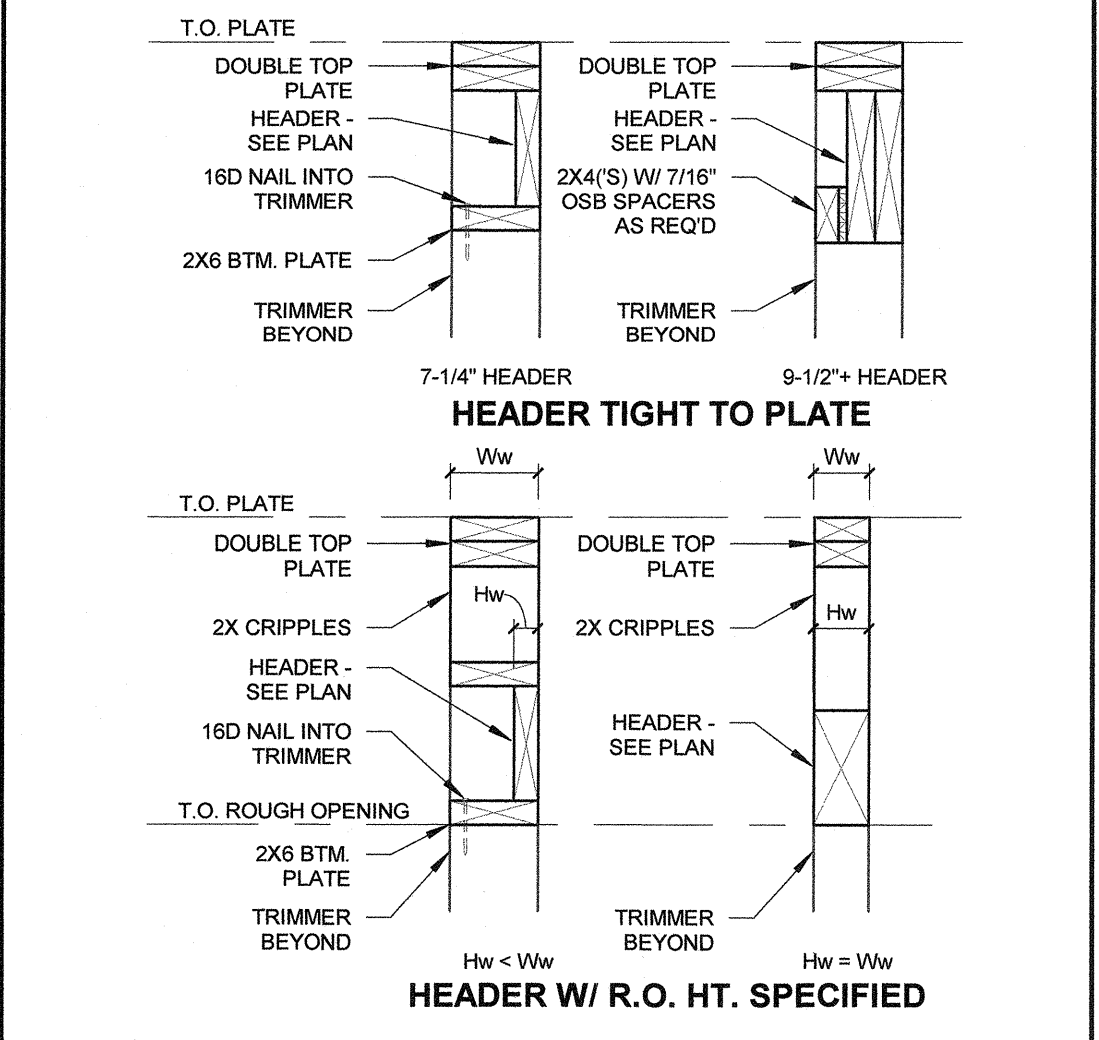
ATTIC VENTILATION			
ROOF S.F.	SQ. INCHES	REQ'D VENT S.F.	NET FREE AREA
3382	487,008	11.27	1624

VENT TYPE (SQ. INCHES)	REQ'D QTY.	TOTAL FREE AREA
14"x24" GABLE VENTS (162)	2	324
12"x18" GABLE VENTS (100)	X	X
ROOF VENTS (50)	10	500
SOFFIT VENTS (56)	15	840
		TOTAL = 1664

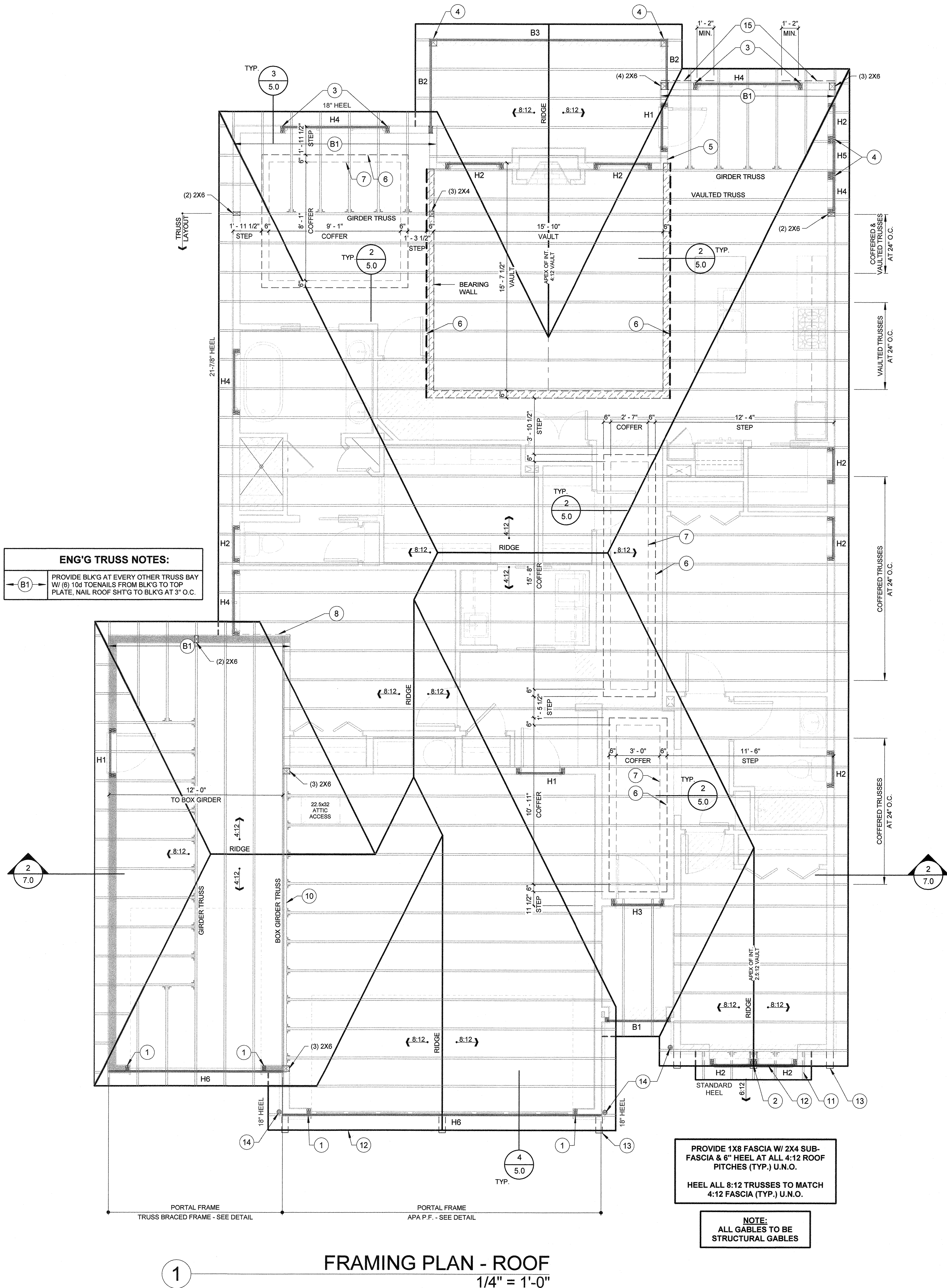
- VENTS TO BE DISTRIBUTED EVENLY ON EACH SIDE OF HOUSE.
- LOCATE ALL ROOF VENTS WITHIN 3'-0" OF ROOF RIDGE.
- NO SOFFIT VENTS IN FIRE-RATED SOFFIT AREAS.

HEADER NOTES:

- REFER TO TYPICAL HEADER DETAILS PRIOR TO FRAMING.
- ALL R.O. HEIGHTS ARE FROM TOP OF ASSOCIATED SUBFLOOR U.N.O.
- REFER TO DOOR / WINDOW FRAMING SCHEDULE FOR DOOR R.O. OPENINGS.



ENG'G TRUSS NOTES:	
(B1)	PROVIDE BLK'G AT EVERY OTHER TRUSS BAY W/ (6) 10d TOENAILS FROM BLK'G TO TOP PLATE, NAIL ROOF SHT'G TO BLK'G AT 3" O.C.



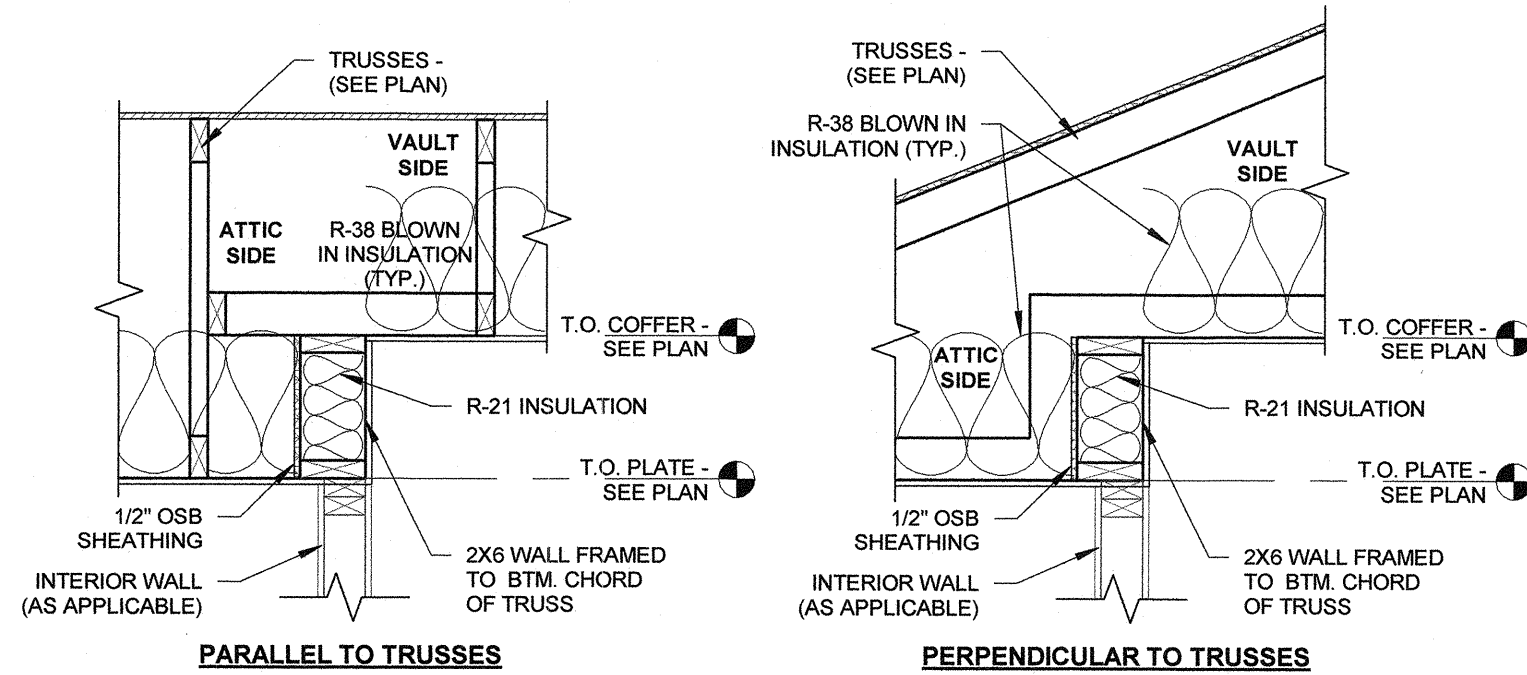
PROVIDE 1X8 FASCIA W/ 2X4 SUB-FASCIA & 6" HEEL AT ALL 4:12 ROOF PITCHES (TYP.) U.N.O.
HEEL ALL 8:12 TRUSSES TO MATCH 4:12 FASCIA (TYP.) U.N.O.

NOTE:
ALL GABLES TO BE STRUCTURAL GABLES

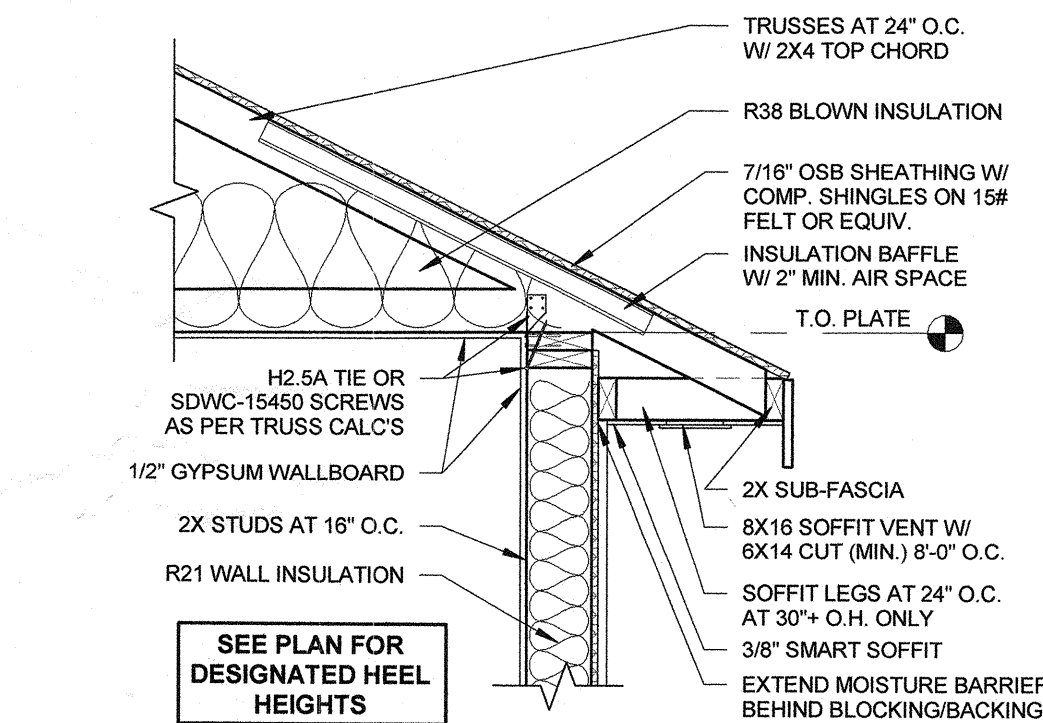
FRAMING PLAN - ROOF
1/4" = 1'-0"

BEAM / HEADER SCHEDULE			
MARK	TYPE	COMMENTS	QTY.
B1	(1) 1 3/4" x 7 1/4" LVL	T.O. BM. = TIGHT TO PL.	1
B2	(1) 1 3/4" x 9 1/2" LVL	T.O. BM. = TIGHT TO PL.	2
B3	(2) 1 3/4" x 9 1/2" LVL	T.O. BM. = TIGHT TO PL.	1
H1	(1) 2x8 DF #2	B.O. HEADER = T.O. R.O.	3
H2	(1) 2x8 DF #2	HDR. TIGHT TO PLATE	9
H3	(2) 2x8 DF #2	B.O. HEADER = T.O. R.O.	1
H4	(2) 2x8 DF #2	HDR. TIGHT TO PLATE	5
H5	(2) 1 3/4" x 7 1/4" LVL	HDR. TIGHT TO PLATE	1
H6	(2) 1 3/4" x 11 7/8" LVL	GARAGE DOOR HEADER	2

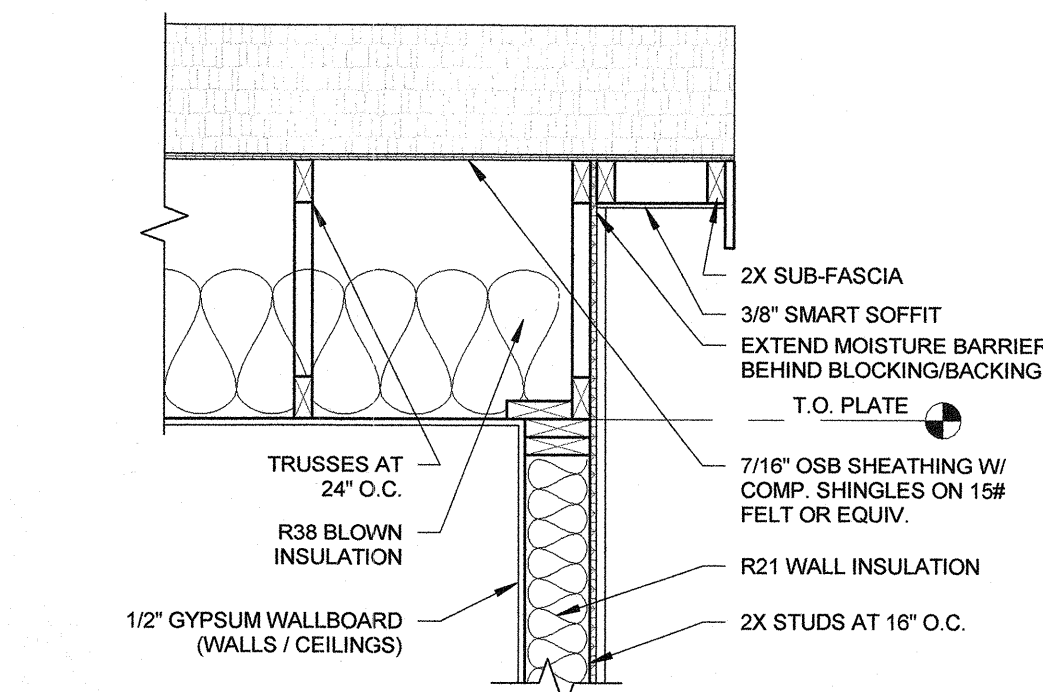
ROOFING TAKEOFF (ESTIMATE)	
ROOFING - ASPHALT SHINGLE	3833 SF
ROOFING - METAL STANDING SEAM	16 SF



6-SIDED FRAMING
3/4" = 1'-0"



TYP. O.H. EAVE
3/4" = 1'-0"



TYP. O.H. GABLE
3/4" = 1'-0"



FOXFIRE B

MAIN LEVEL 2068 SF
2068 SF

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COV. PORCH 40 SF
GARAGE 885 SF

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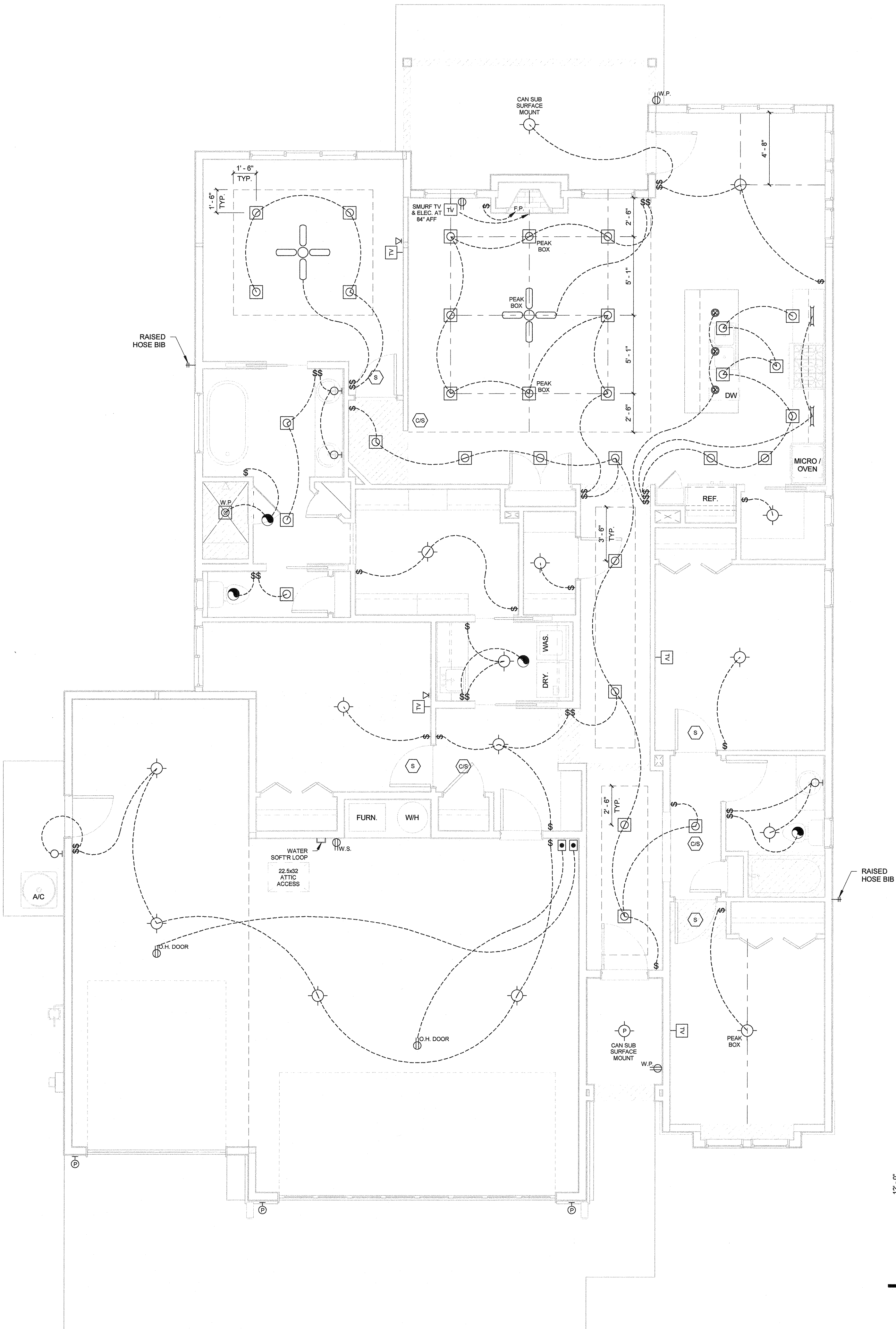
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BLACKROCK
HOMES

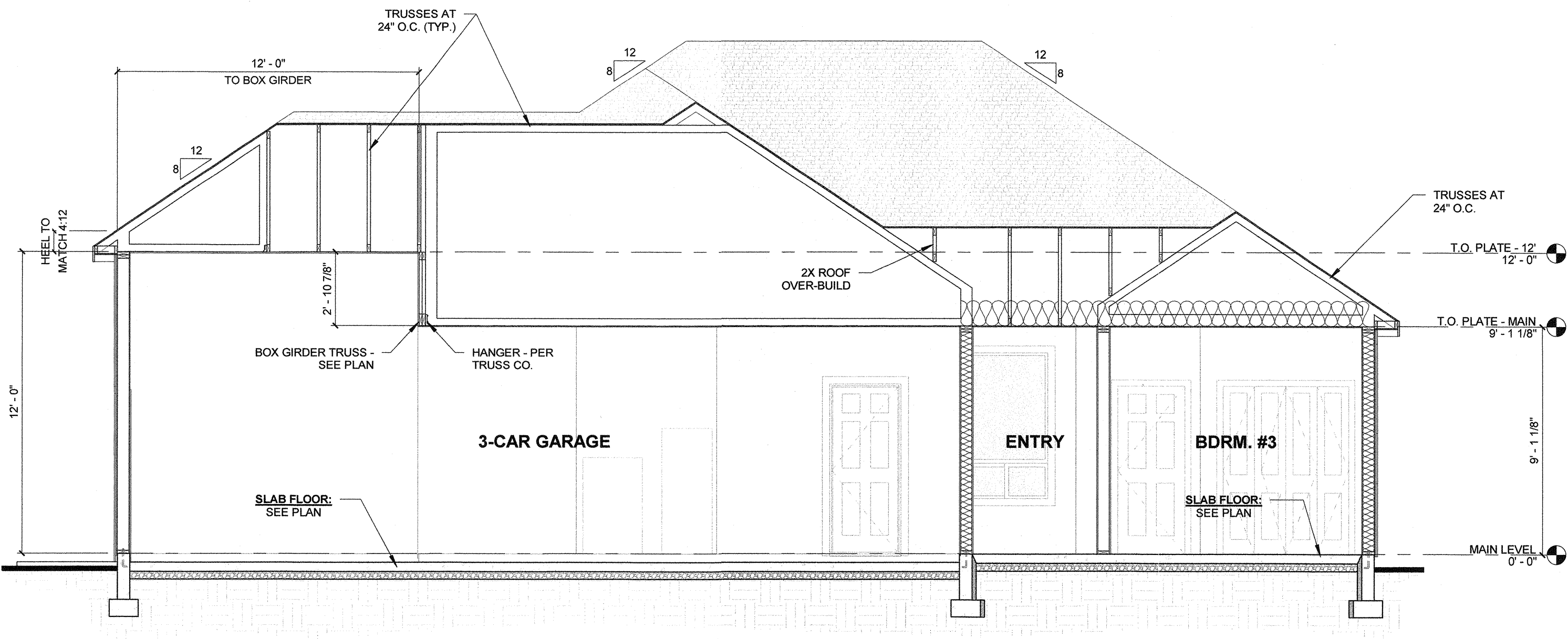
SHEET TITLE:

ROOF FRAMING PLAN

SHEET NUMBER:



1 ELECTRICAL PLAN - MAIN LEVEL
1/4" = 1'-0"

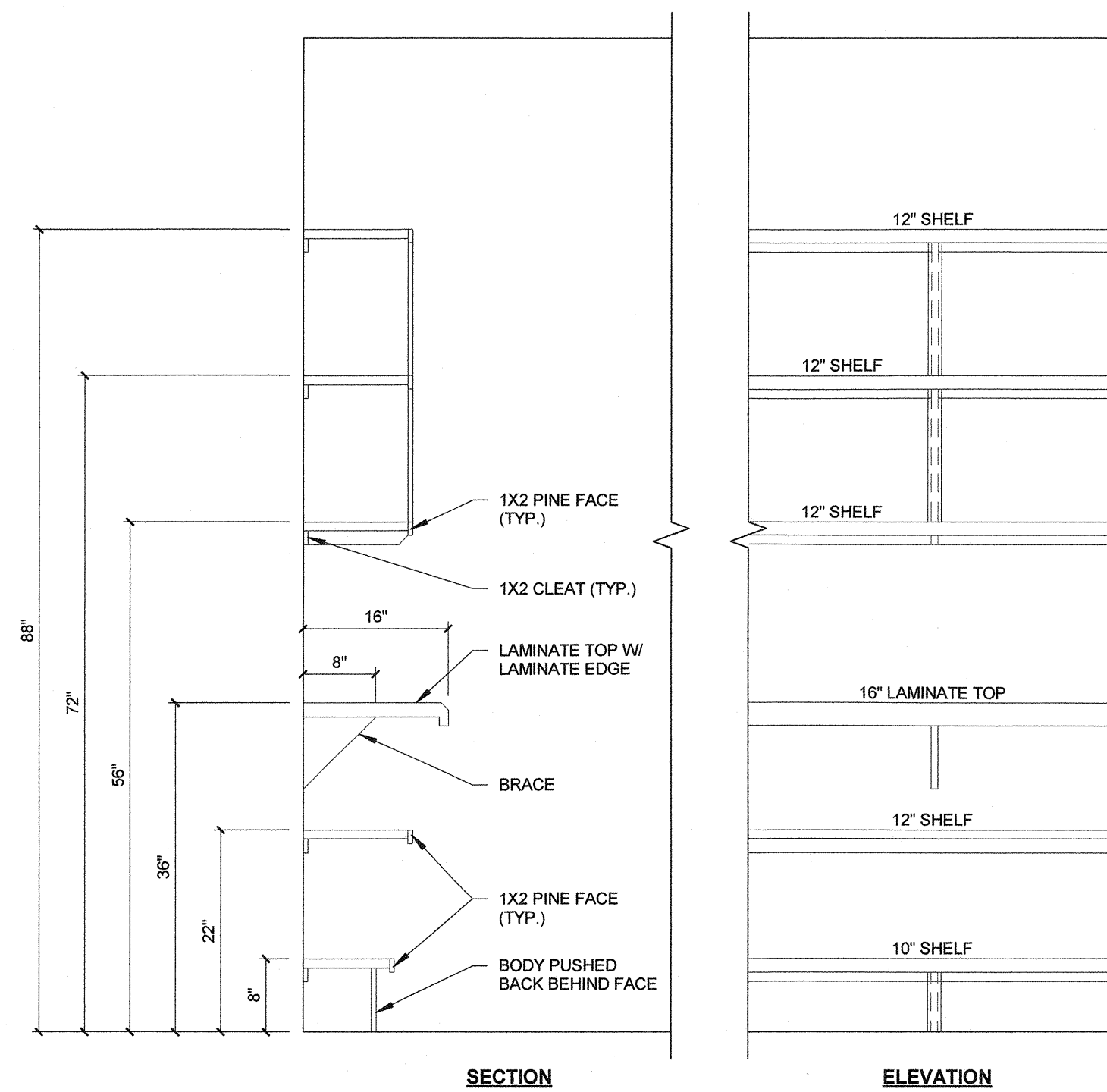
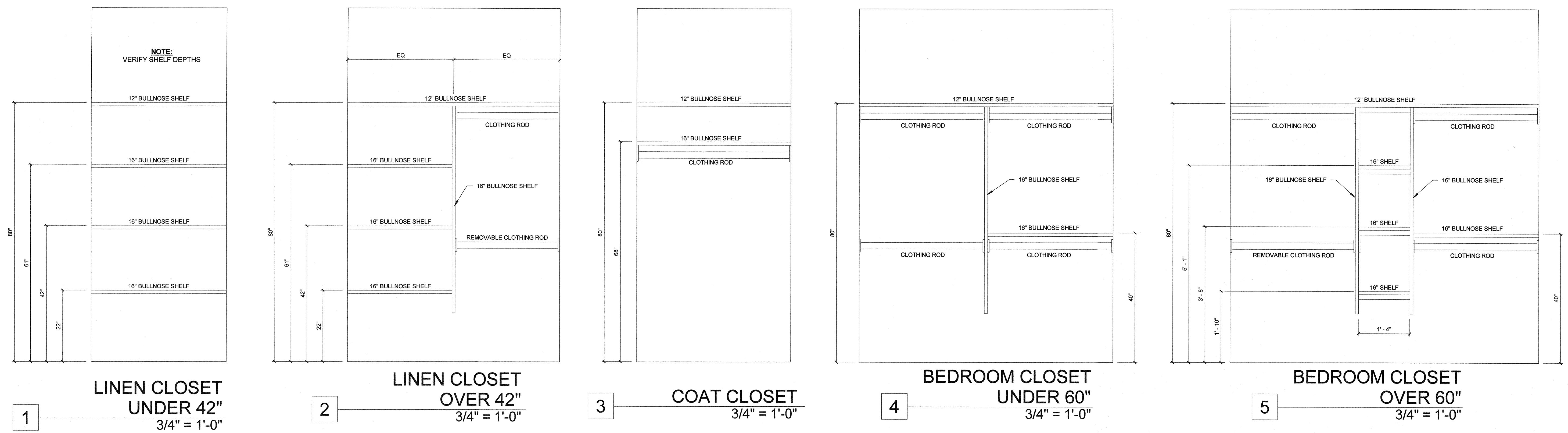


2 BUILDING SECTION
1/4" = 1'-0"

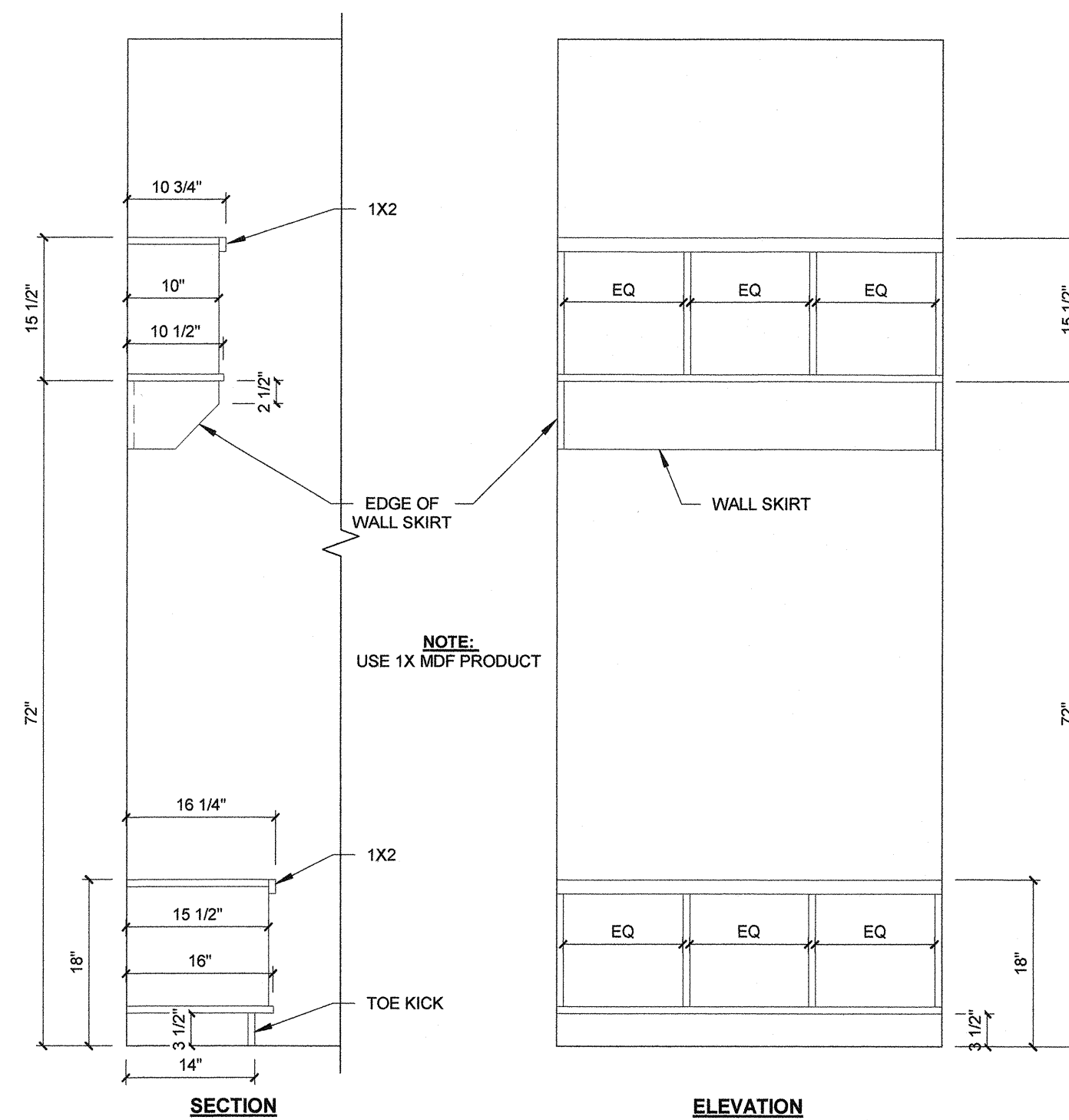
ELECTRICAL SYMBOLS	
LIGHT FIXTURES	
CEILING MOUNTED FIXTURE	MINI RECESSED CAN LIGHT
WALL MOUNTED FIXTURE**	PENDANT LIGHT
RECESSED CAN LIGHT**	
GENERAL	
SMOKE DETECTOR	CEILING FAN
CO DETECTOR	DATA PORT
TELEVISION	THERMOSTAT
CEILING FAN	UNDER CAB. LIGHT
	110 VOLT OUTLET
	220 VOLT OUTLET
	WATERPROOF OUTLET
* OUTLETS, SMOKE DETECTORS AND CO2 DETECTORS ARE TO BE PLACED PER CODE	
** "P" - PHOTO CELL PRESENT	

FOXFIRE B	
MAIN LEVEL	2068 SF
2068 SF	
COV. PATIO	131 SF
COV. PORCH	40 SF
GARAGE	885 SF
PROJECT INFO:	
LOT:	82
BLOCK:	1
ESTRADA VILLAGE #2	
DRAWN BY: RA	
PLOT DATE:	4/18/2024 4:31:24 PM
MSTR DATE:	04.15.24

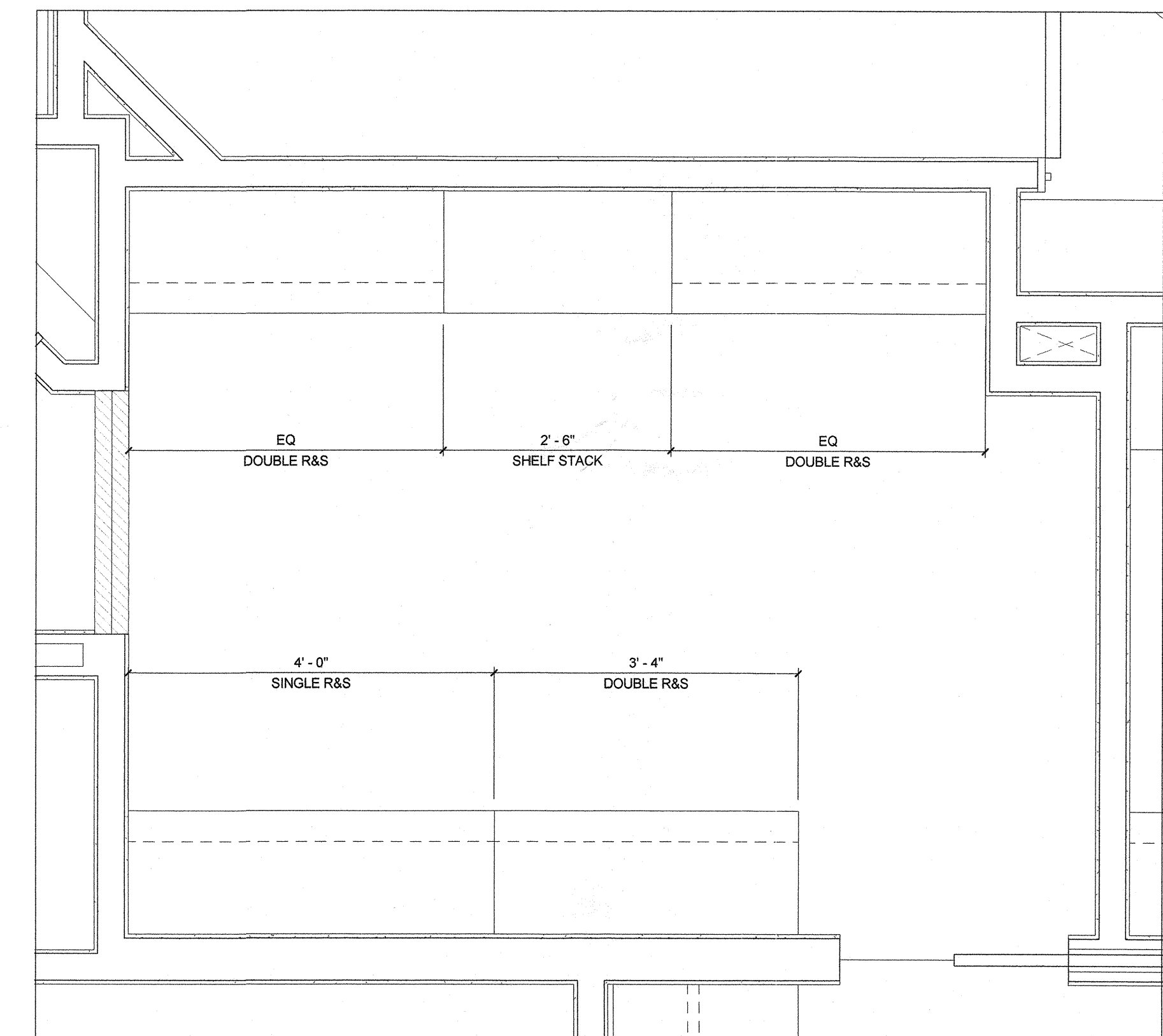
BLACKROCK HOMES



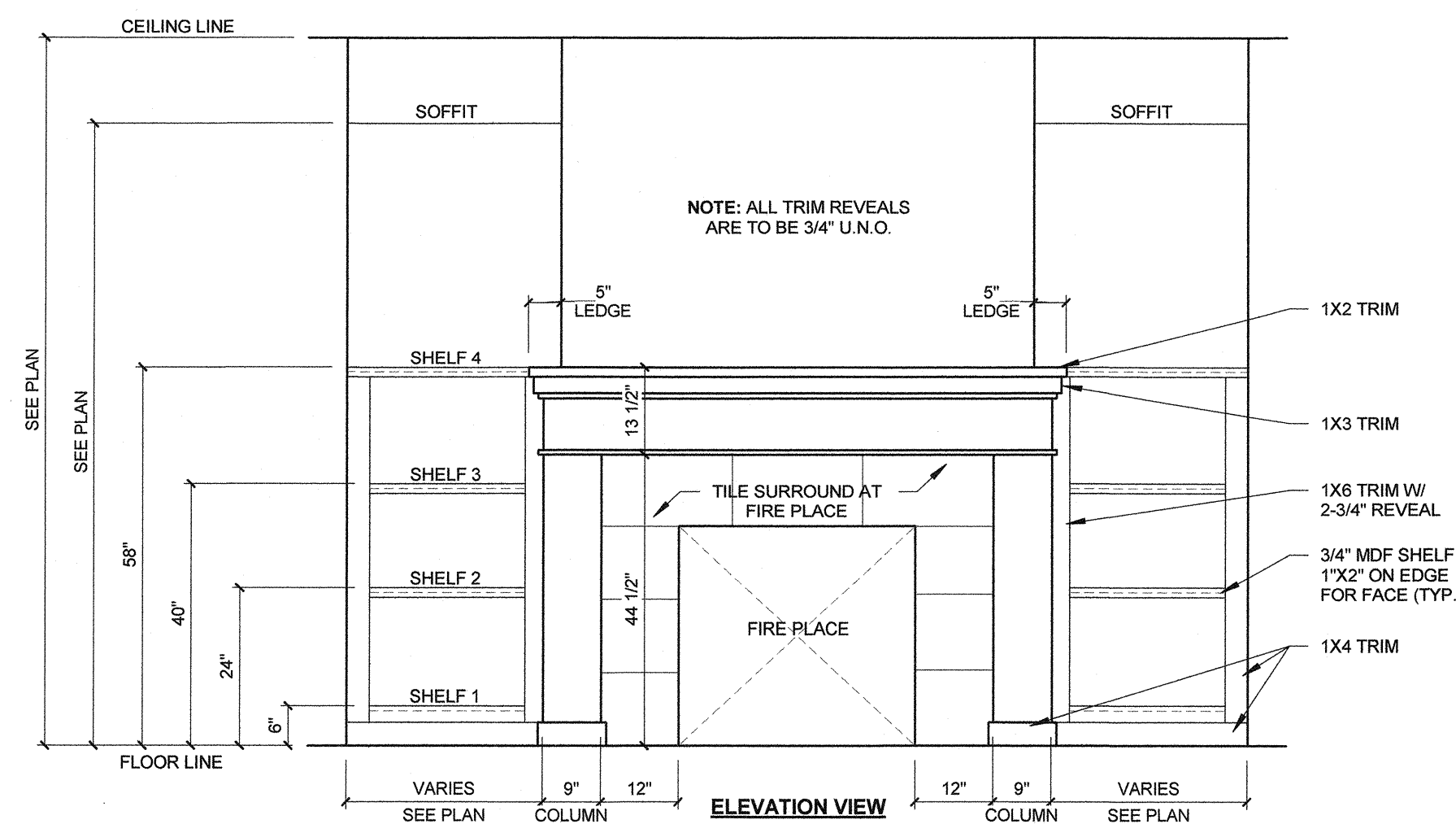
6 PANTRY SHELVING $3/4" = 1'-0"$



7 **BENCH DETAIL**
3/4" = 1'-0"



8 MASTER CLOSET
3/4" = 1'-0"



9 PINNACLE F.P.
1/2" = 1'-0"

